

# 305 SE JETTY AVENUE - SIXPLEX

## PROJECT DIRECTORY

GENERAL CONTRACTOR  
TO BE BID

## GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND THE CONSTRUCTION DRAWINGS PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CROSS CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE STRUCTURAL AND OTHER DRAWINGS AS APPLICABLE. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED IN THE WORK, ALL SUCH MATERIALS AND METHODS ARE TO MAINTAIN THE STANDARDS OF THE INDUSTRY.
- ALL CONSTRUCTION WORK SHALL BE DONE IN COMPLIANCE WITH THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AS AMENDED BY THE STATE AND ALL OTHER STATE AND LOCAL REQUIREMENTS THAT APPLY.
- MATERIALS, EQUIPMENT, ETC., NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE INSTALLATION SHALL BE HELD TO BE IMPLIED AND SHALL BE FURNISHED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- ERRORS OR OMISSIONS IN ANY SCHEDULE OR DRAWING DO NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE WORK INTENDED IN THE DRAWINGS OR SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
- ALL CONSTRUCTION TO COMPLY WITH CURRENT OREGON RESIDENTIAL SPECIALTY CODE.
- ANY DISCREPANCIES IN THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY AND WRITTEN CLARIFICATION SECURED PRIOR TO THE COMMENCEMENT OF WORK.
- ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INDUSTRY STANDARDS.
- SUBCONTRACTORS TO INSPECT JOB CONDITIONS PRIOR TO COMMENCEMENT OF WORK. STARTING WORK SHALL INDICATE ACCEPTANCE OF CONDITIONS.
- DESIGNER ASSUMES NO LIABILITY FOR PRODUCT PERFORMANCE OR WORKMANSHIP OF ANY TRADE.
- LOTS MUST BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM SLOPE OF 6 INCHES WITHIN THE FIRST 10 FEET. WHERE PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS, SWALES, OR OTHER MEANS MUST BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.

## ADDITIONAL MEASURE PER TABLE N1101.1(2)

- DUCTLESS HEAT PUMP  
FOR DWELLING UNITS WITH ALL-ELECTRIC HEAT PROVIDE:  
DUCTLESS HEAT PUMP OF MINIMUM HSPF 10 IN PRIMARY ZONE REPLACES ZONAL ELECTRIC HEAT SOURCES, AND PROGRAMMABLE THERMOSTAT FOR ALL HEATERS IN BEDROOMS

"A BALANCED, WHOLE-HOUSE VENTILATION SYSTEM WILL BE PROVIDED IN ACCORDANCE WITH M1505.4." (PER TABLE M1505.4.3(1) AIRFLOW= 45CFM)

PLUMBING OR MECHANICAL EQUIPMENT DUCTS OR VENTS ARE NOT PERMITTED IN THE CAVITY OF THE COMMON 2-HOUR FIRE RESISTANCE-RATED WALL. ELECTRICAL INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. PENETRATIONS OF ELECTRICAL OUTLET BOXES SHALL BE IN ACCORDANCE WITH SECTION R302.4.

## CONSTRUCTION COMPONENTS:

### SITE WORK

- VERIFY LOCATION OF ALL UTILITIES BEFORE EXCAVATION.
- FOUNDATION AREA TO BE CLEARED OF ALL VEGETATION, TOPSOIL, AND FOREIGN MATERIAL.
- ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL.
- ASSUMED SOIL BEARING PRESSURE - 1,500 P.S.F.
- SLOPE FINISH GRADE 6" OUT 10'-0" FROM FOUNDATION.

### CONCRETE

- ALL CONCRETE TO HAVE A MINIMUM COMPREHENSIVE STRENGTH OF 3,000 P.S.I AT 28 DAYS. EXCEPT GARAGE SLABS, EXPOSED GARAGE SLABS, EXPOSED PATIOS AND STEPS TO BE 3,000 P.S.I W/ 5.7% AIR ENTRAINMENT.
- MAXIMUM SLUMP -4" AT POUR.
- PLACEMENT AND CURING PER A.C.I CODE STANDARDS
- ALL REINFORCEMENT BARS TO BE GRADE 80 MINIMUM.

### FRAMING AND LUMBER

- BEAMS & HEADERS =DF #2 OR AS SPECIFIED
- JOISTS & LEDGERS =DF #2 OR AS SPECIFIED
- STUDS =STUD GRADE: DF
- STRIP SHEATHING =DF #3 OR BETTER
- BLOCKING & PLATES=DF #3 OR BETTER
- PLYWOOD:  
ROOF SHEATHING =7/16" A.P.A RATED O.S.B SHTG (EXP. 1) (CDX @ O.H.)  
WALL SHEATHING =7/16" A.P.A RATED O.S.B SHTG (EXP. 1)  
FLOOR SHEATHING =7/8" T&G PLYWOOD (O.S.B. OK) (EXP. 1) (ONE-PERM RATED) 10d NAILS.
- WOOD IN CONTACT WITH CONCRETE OR EARTH TO BE P.T LP22
- PROVIDE SOLID BLOCKING UNDER ALL BEAM BEARING POINTS.
- STAGGER NAIL ALL MULTIPLE JOISTS TOP & BOTTOM AT 15" O.C. USE  $\frac{3}{4}$ " M.B AND WASHERS AT 4 OR MORE MULTIPLE JOISTS.
- PROVIDE FIRE BLOCKING PER CODE.
- GLU-LAMINATED BEAMS TO BE 24F-V4 OR AS SPECIFIED

### MIN. DESIGN LOADS OR SPECIFIED IN THE STRUCTURAL SHEETS:

FLOORS:	DEFLECTION SMALLER OF LL/360 & LL800 (TILE FLOORS)
LIVE LOADS:	40 P.S.F
DEAD LOADS:	10 P.S.F FLOOR CONSTRUCTION 5 P.S.F FOR WOOD / TILE FLOORS
DEAD LOAD TOTAL:	15# P.S.F
ROOF:	
ROOF SNOW LOAD:	25 P.S.F
DEAD LOADS:	10 P.S.F WOOD FRAME 2 P.S.F $\frac{1}{2}$ " GYPSUM CEILING 3 P.S.F. ASPH. COMPOSITION SHINGLES
DEAD LOAD TOTAL:	20# P.S.F

## ENERGY REQUIREMENTS

### INSULATION:

- EXTERIOR WALLS =R-21 F.G BATT (ONE\_PERM VAPOR RETARDER) (FILL IN GAPS & VOIDS, INSULATED HEADERS)
- ATTIC SPACE =R-49 F.G LOOSE FILL
- VAULTED CEILINGS =R-30 F.G BATT (0.5 PERM VAPOR RETARDER)
- CRAWL SPACE =R-30 F.G BATT UNDER FLR. W/ V.B. UP.
- BASEMENT WALLS =R-21 F.G BATT (ONE-PERM VAPER RETARDER)
- SLAB FLOOR EDGE =R-15 RIGID POLYSTYRENE FOAM
- POLYISOCYANURATE TYPE FOAM INSULATION AT PLATE, FLOOR, CORNER STUD CAVITIES AND WINDOW/DOOR ROUGH OPENINGS.
- INSULATE TO R-8 ALL PIPES (HOT & COLD WATER) AND DUCTWORK (HEATING & COOLING) IN NON-CONDITIONED SPACES.
- POLYFOAM SILL SEALER ON TOP OF CONCRETE FOUNDATION WALLS.
- WINDOW CLASS =U=0.27 OR LOWER
- MAIN ENTRY DOOR =U=0.20
- ALL OTHER DOORS =U=0.20
- SKYLIGHT CLASS =U=0.50
- VERIFY INSULATION OF INTERIOR WALLS/FLOORS FOR SOUND CONTROL
- 94% EFFICIENCY RATED FURNACE W/ 6% DUCT LEAKAGE OR LOWER
- SUPPLY SIDE VENTILATION SYSTEM
- 2.5 ACH AT 50PA (AVERAGE BLOWER DOOR SCORE)
- 94% AFUE WATER HEATER

## ENERGY CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO 2021 OREGON RESIDENTIAL ENERGY CODE PER TABLE N1101.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENT FOR RESIDENTIAL BUILDINGS AS LISTED BELOW.

BUILDING COMPONENT	REQ'D PERFORMANCE	EQUIV. VALUE
WALL INSULATION-ABOVE GRADE	U-0.059	R-21
WALL INSULATION-BELOW GRADE	C-0.063	R-21
FLAT CEILING	U-0.021	R-49
VAULTED CEILING	U-0.033	R-30A
UNDER FLOORS	U-0.033	R-30
SLAB EDGE PERIMETER	F-0.520	R-15
HEATED SLAB INTERIOR	N/A	R-10
WINDOWS	U-0.27	U-0.27
WINDOW AREA LIMITATION	N/A	N/A
SKYLIGHTS	U-0.50	U-0.50
EXTERIOR DOORS	U-0.20	U-0.20
EXTERIOR DOORS W/ MORE THAN 2.5 SF		
GLAZING	U-0.40	U-0.40
FORCED AIR DUCT INSULATION	N/A	R-8



## DRAWING INDEX

SF	CS	COVER SHEET
SF	A0	SITE PLAN
SF	A0.1	LANDSCAPING PLAN
	A1	ELEVATIONS
	A1.1	ELEVATIONS
SF	A2	MAIN FLOOR PLAN
SF	A3	UPPER FLOOR PLAN
SF	A4	ROOF PLAN
SF	A5	FLOOR FRAMING PLAN
SF	A6	FOUNDATION PLAN
SF	A7	SECTIONS
	A8	DETAILS
	ENGINEERING	
	S1.0	SHEARWALL PLAN
	S1.1	ROOF PLAN&UPPPER FLOOR FRAMING
	S1.2	FOUNDATION PLAN
	S2.0	DETAILS
AL	TOS	TOP OF SLAB
TO SCALE	TOW	TOP OF WALL
CENTER	TYP	TYPICAL
OSITE	UNO	UNLESS NOTED OTHERWISE
CURE	VERT	VERTICAL
ENTED STRAND BOARD	VIF	VERIFY IN FIELD
TE	W/	WITH
SSURE TREATED	WD	WOOD
WOOD	WH	WATER HEATER
NTITY	W/O	WITHOUT
UIRED		
M		
GH OPENING		
XE DETECTOR		
NE VENEER		
LAR		
BOL OR SYMMETRICAL		
AND BOTTOM		
PERED OR TEMPORARY		
OF		
OF DECK		

REV	DATE	COMMENT

CAD: XREF: TO DRAWN: ENGR: CHECKED: CODE: VISRET: 0  
CREATED: 3/25/2020  
PLOT SCALE: 1:1

THIS DRAWING IS THE PROPERTY OF THE DESIGNER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER ASSUMES NO LIABILITY FOR PRODUCT PERFORMANCE OR WORKMANSHIP OF ANY TRADE. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. THE DESIGNER IS NOT RESPONSIBLE FOR ANY OTHER WORK OR FOR ANY OTHER TRADES OR PROFESSIONS. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. THE DESIGNER IS NOT RESPONSIBLE FOR ANY OTHER WORK OR FOR ANY OTHER TRADES OR PROFESSIONS.

DRAWING TITLE  
**COVERSHEET**  
SE JETTY AVENUE  
LINCOLN CITY, OREGON

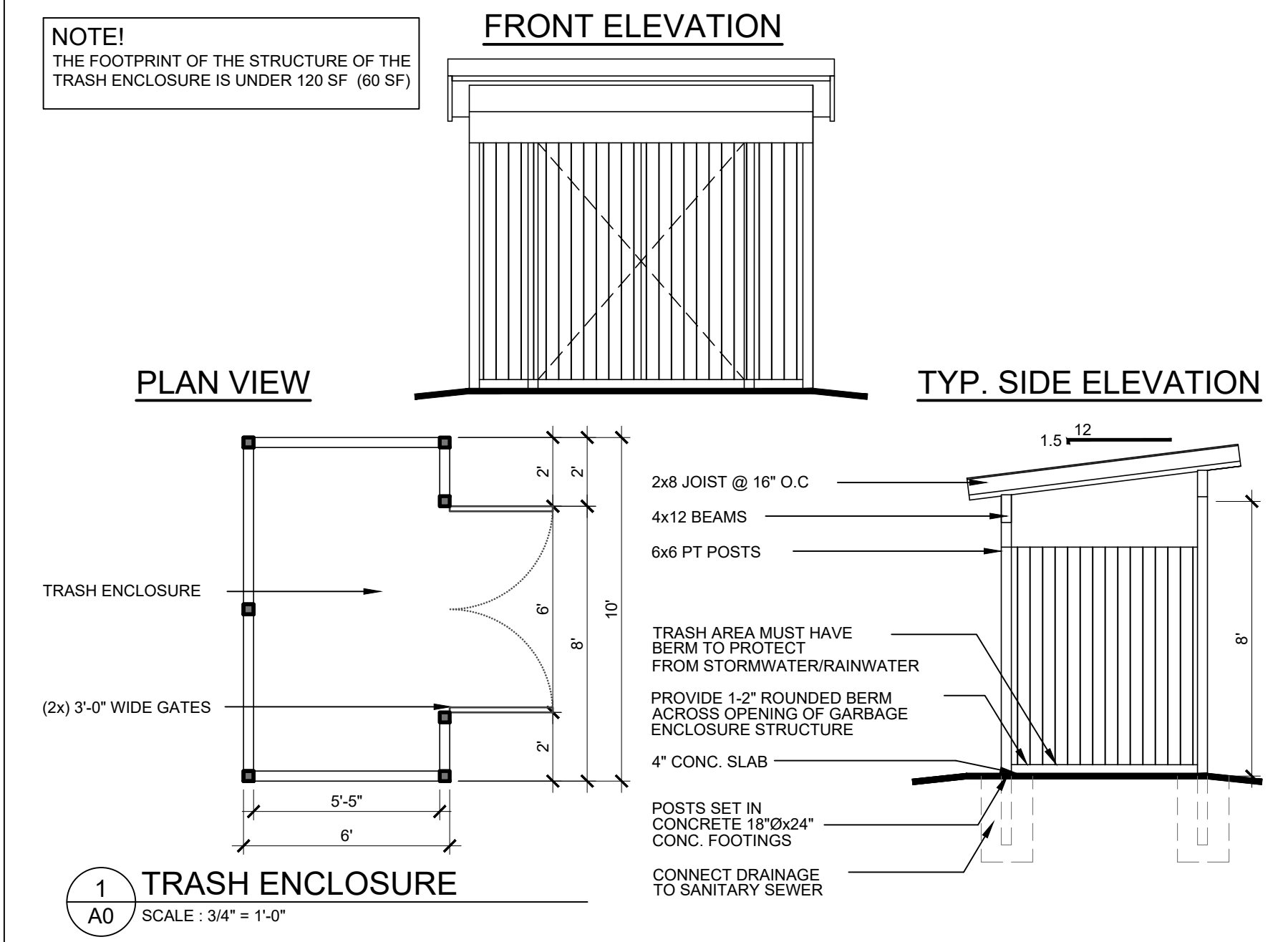
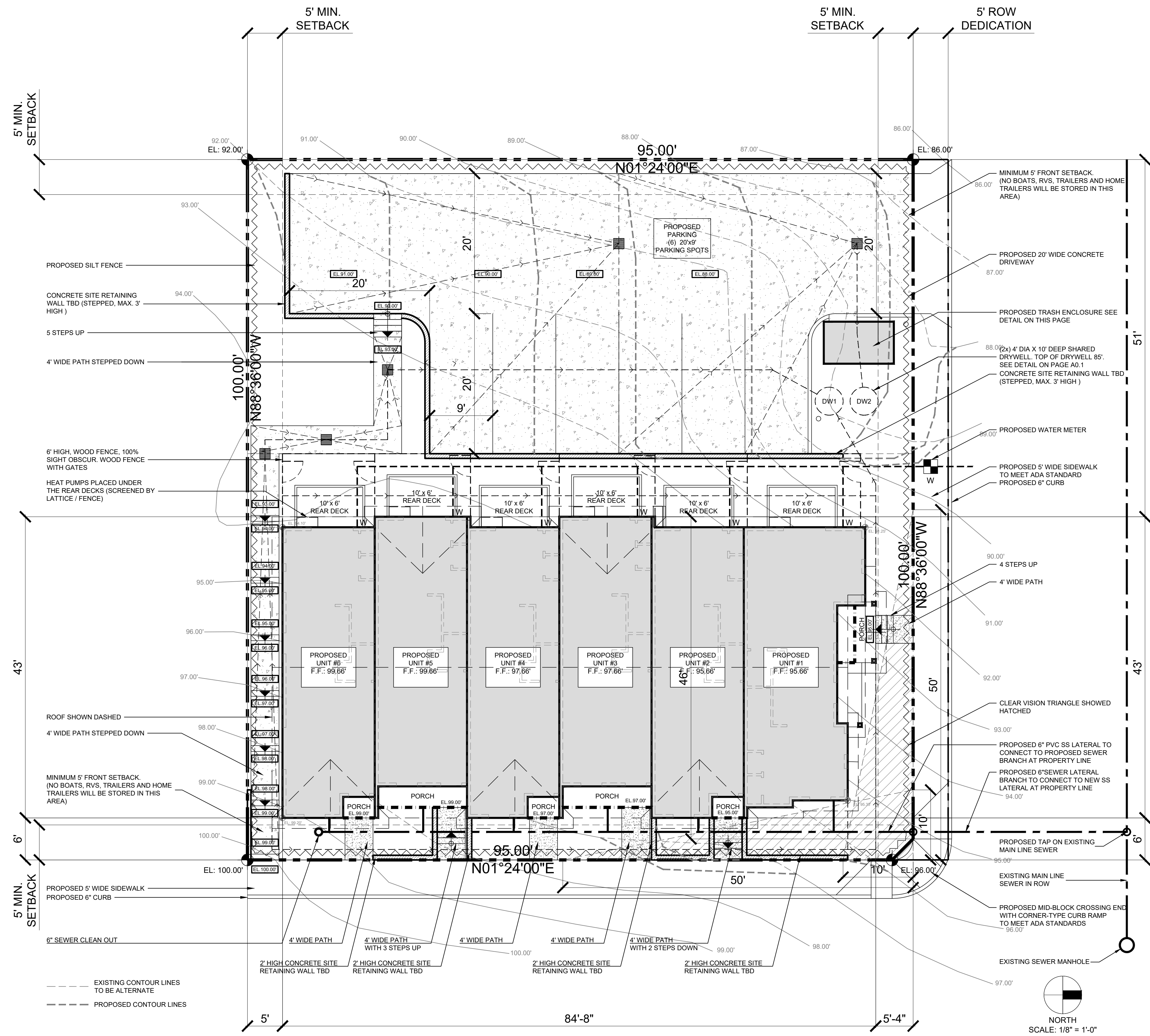
DEZ JOB NO.  
SE JETTY AVENUE  
DRAWING REVISION  
-  
DRAWING NUMBER  
**CS**



305 SE JETTY AVE, LINCOLN CITY, OR 97367  
 CITY: LINCOLN CITY  
 PROPERTY ID: R146068  
 PROPERTY STATUS: A ACTIVE  
 PROPERTY TYPE: RP RESIDENTIAL  
 LEGAL DESCRIPTION: LAKEWOOD, BLOCK 1, LOT 1 & 2, DOC202205291  
 NEIGHBORHOOD: LENB EAGLE POINT RESIDENTIAL LAND  
 MAP NUMBER: 07-11-15-DA-01100-00  
 LEVY CODE AREA: 402  
 ZONING: R-M  
 TOTAL LAND AREA: 9,500 SF

**BUILDING COVERAGE**  
 LOT AREA - 9,500 SF  
 MAXIMUM BUILDING COVERAGE - 6,175 SF (65%)  
 BUILDING FOOTPRINT - 3,717 SF (39%)  
 IMPERVIOUS AREA:  
 ROOF INCLUDING PORCHES - 3,780 SF  
 IMPERVIOUS AREA MANAGED BY DRYWELL 1 - 3,780 SF  
 PARKING AREA - 2,867 SF  
 REAR CONCRETE PATH - 382 SF  
 IMPERVIOUS AREA MANAGED BY DRYWELL 2 - 3,249 SF  
 TOTAL IMPERV. AREA MANAGED BY DRYWELLS - 7,029 SF  
 OTHER PATHS MANAGED BY FILTER STRIP - 153 SF  
 TOTAL MANAGED IMPERVIOUS AREA - 7,182 SF

305 SE JETTY AVE, LINCOLN CITY - RESTRICTIONS  
 LOT SIZE - 9,500 SF  
 ZONING - R-M  
 MAX HEIGHT - 40'  
 FRONT - 5'  
 SIDE - 5'  
 REAR - 5'

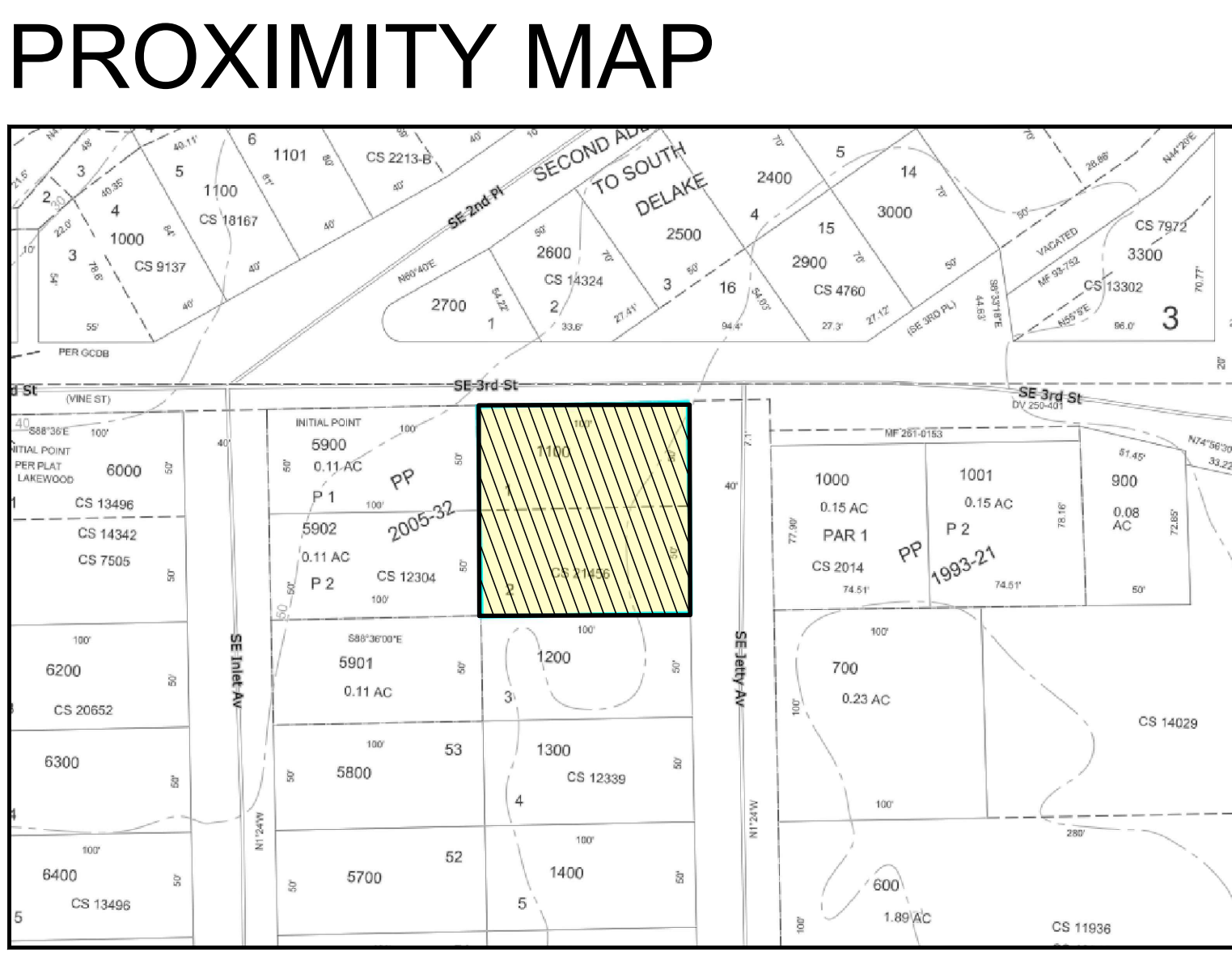


**ADDITIONAL NOTES:**  
 NO ARCHITECTURAL FEATURES PROJECTS MORE THAN 18 INCHES INTO REQUIRED SETBACK AREA  
 NO ACCESSORY STRUCTURES ARE BEING PROPOSED

**UTILITY NOTES:**

- ALL ELECTRICAL, TELEPHONE, AND CABLE TELEVISION UTILITY SERVICE INSTALLATIONS OR CONNECTIONS MADE AS PART OF NEW CONSTRUCTION OF A BUILDING OR STRUCTURE SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH CITY STANDARDS.
- SEPARATION BETWEEN SANITARY SEWER AND WATER LINE SHOULD BE 5' MIN. SKIN TO SKIN.
- SEPARATION BETWEEN UNDERGROUND ELECTRICAL SERVICE LINE AND WATER LINE SHOULD BE 4' MIN.
- SEPARATION BETWEEN MULTIPLE WATER SERVICES ON ONE TAX LOT SHOULD BE 3' MIN.
- SEPARATION BETWEEN WATER SERVICE AND PROPERTY LINES SHOULD BE 1.5' MIN.
- ALL OTHER UNDERGROUND UTILITIES NEED TO HAVE 3' MIN. SEPARATION FROM WATER LINE.
- WATER LINES ARE SHOWN IN THE PUBLIC RIGHT OF WAY, NOT ON PRIVATE PROPERTY.
- SHARED OR COMMON UTILITIES SHALL NOT RUN BENEATH A TOWNHOUSE. SEPARATE UTILITY SERVICES SHALL BE SUPPLIED TO EACH INDIVIDUAL TOWN. UTILITIES SERVING AN INDIVIDUAL TOWNHOUSE SHALL NOT RUN BENEATH ANOTHER SEPARATE TOWNHOUSE AND SHALL NOT RUN THROUGH THE ATTIC OF ANOTHER SEPARATE TOWNHOUSE.

**SITE NOTES:**  
 SITE INFORMATION PROVIDED BY COUNTY MAP AND OWNER VERIFICATION. ALL SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.  
 ALL SETBACKS, EASEMENTS, AND CC&R REQUIREMENTS TO BE VERIFIED PRIOR TO CONSTRUCTION.  
 FINAL SITTING OF THE DWELLING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
 ALL LANDSCAPE DRAINAGE TO BE DIRECTED TO LANDSCAPE DRAINAGE CONTAINMENT OR CITY DRYWELL WHERE APPLICABLE. CONFIRM ALL UTILITIES AND TRENCH LOCATIONS WITH CONTRACTOR PRIOR TO CONSTRUCTION.  
 TEMPORARY EXCAVATIONS FOR FOUNDATIONS CAN BE COMPLETED WITHIN THE PROPERTY LINE WITH SLOPES THAT ARE NO STEEPER THAN 1H:1V.  
 IF SLOPES STEEPER THAN 1H:1V ARE NECESSARY, THEN A SOILS REPORT PROVIDING RECOMMENDATIONS FOR EXCAVATION AND/OR A TEMPORARY CONSTRUCTION EASEMENT GRANTED BY THE ADJOINING PRIVATE PROPERTY OWNERS WILL BE REQUIRED.



CAD: XREF: TO  
 DRAWN: ENGR:  
 CHECKED: CODE:  
 VSRET: 0  
 CREATED: 3/25/2020  
 PLOT SCALE: 1:1

REV	DATE	COMMENT

THIS DRAWING IS THE PROPERTY OF THE ENGINEER AND ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND ARCHITECT IS PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS DRAWING. THE ENGINEER AND ARCHITECT MAKE NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY, COMPLETENESS, OR SUITABILITY OF THE INFORMATION PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**DRAWING TITLE**  
**SITE PLAN**  
 SE JETTY AVENUE  
 LINCOLN CITY, OREGON

**DEZ JOB NO.**  
 SE JETTY AVENUE

**DRAWING REVISION**  
 -

**DRAWING NUMBER**  
**A0**



305 SE JETTY AVE, LINCOLN CITY, OR 97367  
 CITY: LINCOLN CITY  
 PROPERTY ID: R146068  
 PROPERTY STATUS: A ACTIVE  
 PROPERTY TYPE: RP RESIDENTIAL  
 LEGAL DESCRIPTION: LAKEWOOD, BLOCK 1, LOT 1 & 2, DOC202205291  
 NEIGHBORHOOD: LENB EAGLE POINT RESIDENTIAL LAND  
 MAP NUMBER: 07-11-15-DA-01100-00  
 LEVY CODE AREA: 402  
 ZONING: R-M  
 TOTAL LAND AREA: 9,500 SF

**BUILDING COVERAGE**  
 LOT AREA - 9,500 SF  
 MAXIMUM BUILDING COVERAGE - 6,175 SF (65%)  
 BUILDING FOOTPRINT - 3,717 SF (39%)  
 IMPERVIOUS AREA:  
 ROOF INCLUDING PORCHES - 3,780 SF  
 IMPERVIOUS AREA MANAGED BY DRYWELL 1 - 3,780 SF  
 PARKING AREA - 2,867 SF  
 REAR CONCRETE PATH - 382 SF  
 IMPERVIOUS AREA MANAGED BY DRYWELL 2 - 3,249 SF  
 TOTAL IMPERV. AREA MANAGED BY DRYWELLS - 7,029 SF  
 OTHER PATHS MANAGED BY FILTER STRIP - 153 SF  
 TOTAL MANAGED IMPERVIOUS AREA - 7,182 SF

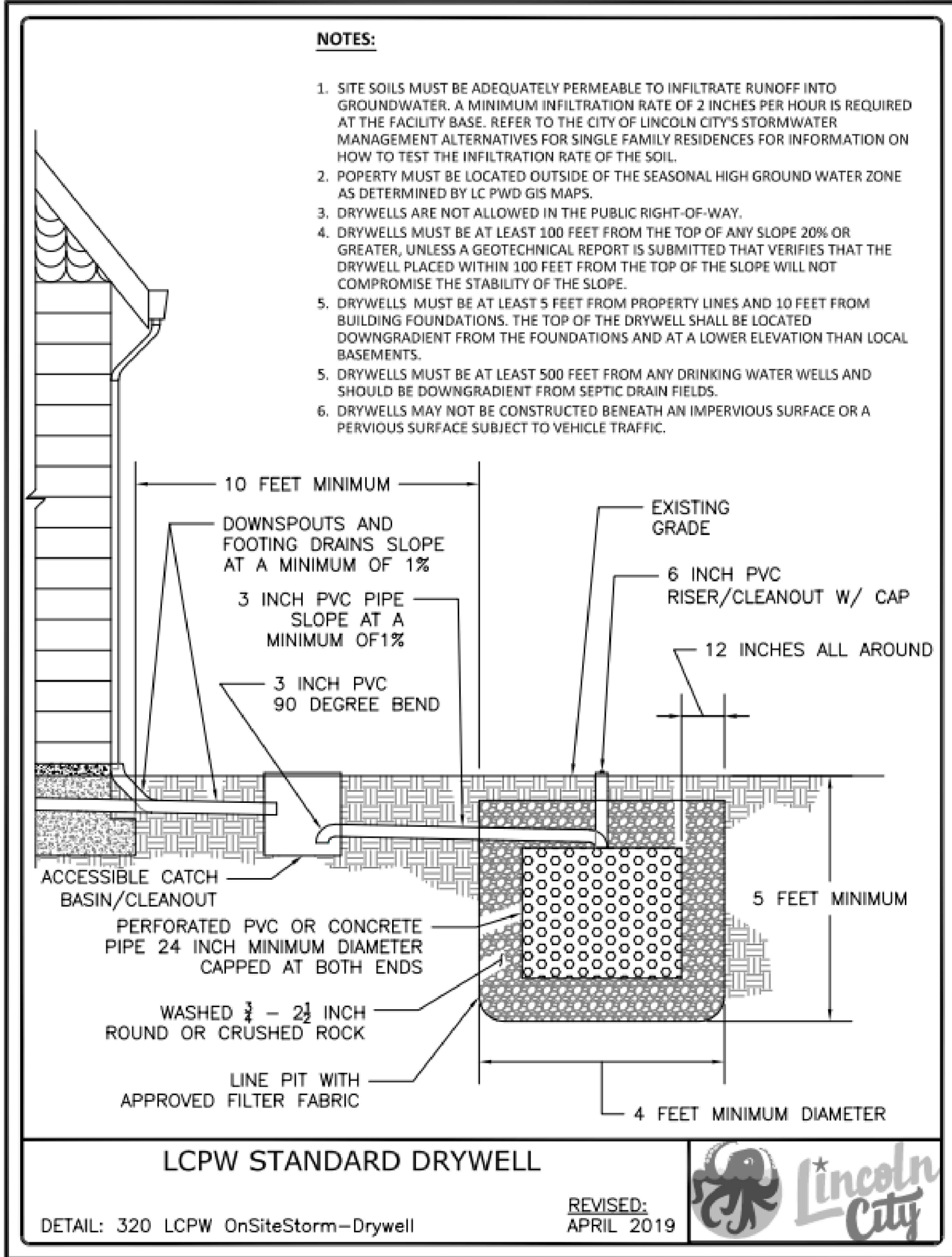
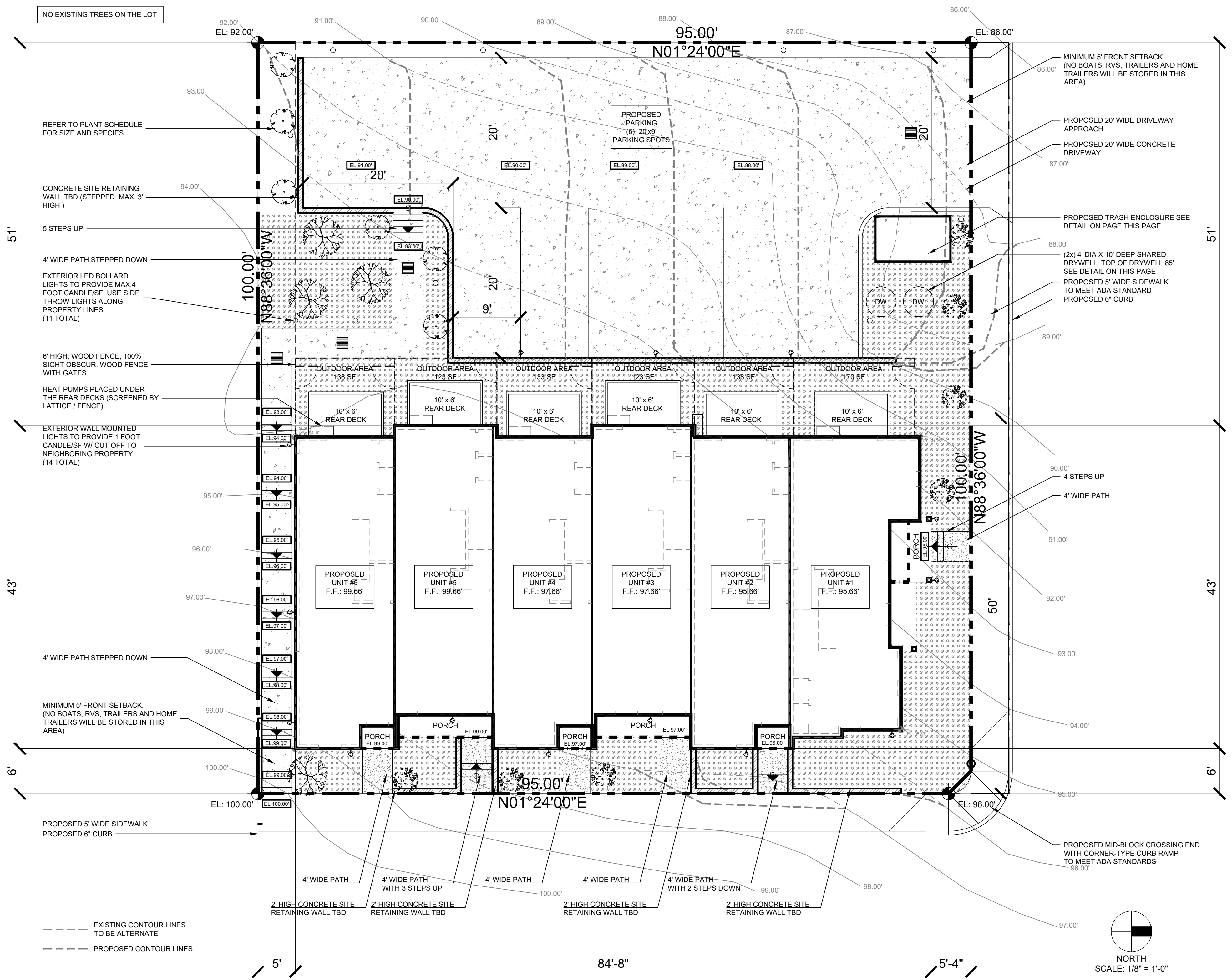
**305 SE JETTY AVE, LINCOLN CITY - RESTRICTIONS**  
 LOT SIZE - 9,500 SF  
 ZONING - R-M  
 MAX HEIGHT - 40'  
 FRONT - 5'  
 SIDE - 5'  
 REAR - 5'

**LANDSCAPE KEY**

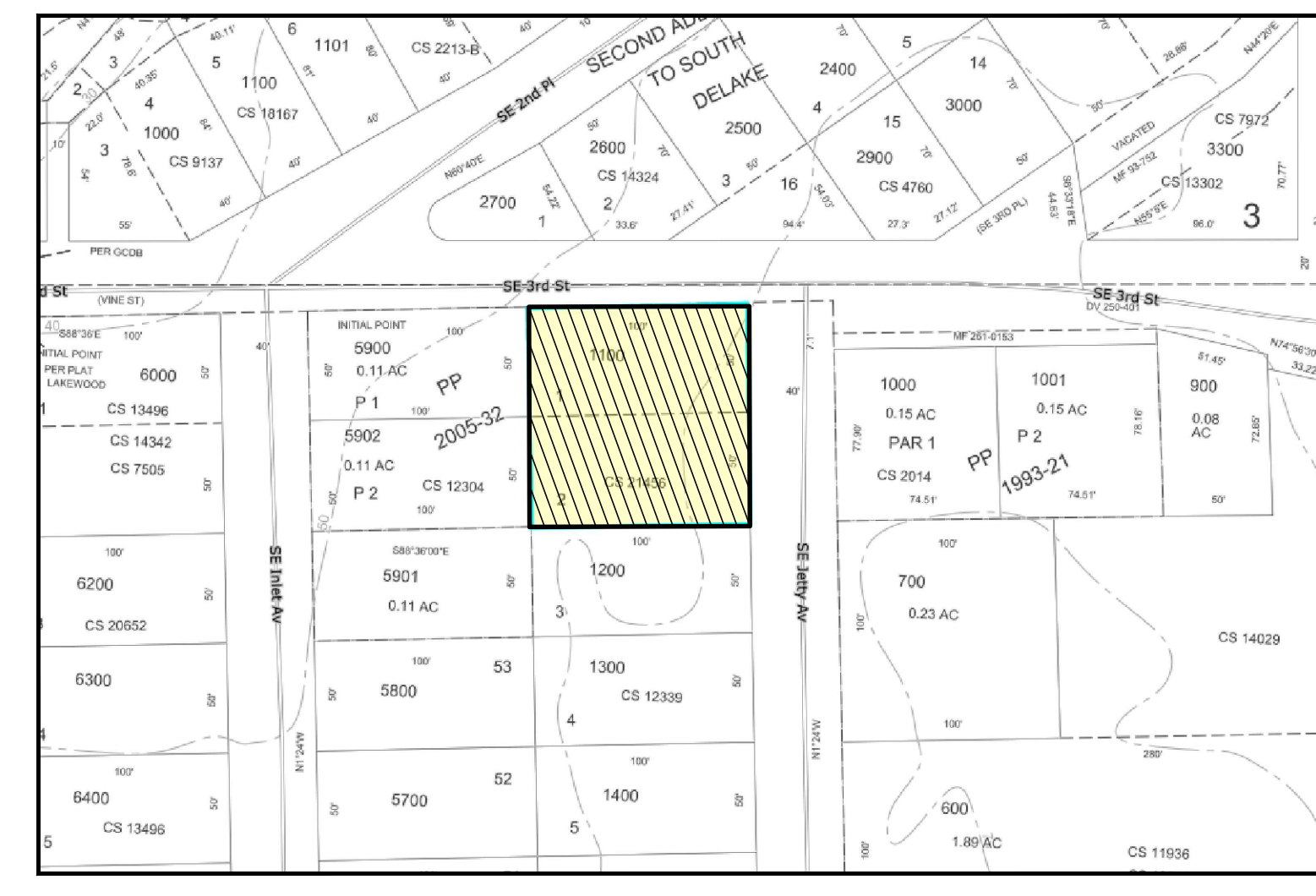
TOTAL LOT PERIMETER -	390'
LCMC -	17.55.040 - 1 TREE PER 100' OF LOT PERIMETER
AMOUNT OF TREES -	4
AMOUNT OF SHRUBS -	13
GROUND COVER QUANTITY	
SYMBOL KEY	PLANT NAME
[Symbol]	BLUE OAT GRASS - AT LEAST FOUR-INCH POT SIZE
[Symbol]	"WOOD MULCH" - TWO- TO THREE-INCH-THICK LAYER

**PLANT SCHEDULE**

QUANTITY	SYMBOL KEY	PLANT NAME
4	[Symbol]	"TREE" - CUPRESSOCYPARIS LEYLANDI - LEYLAND CYPRESS - AT LEAST 1.5 CALIPER INCHES
7	[Symbol]	"SHRUB" - LAVENDULA STOECCHAS - LAVENDER - AT LEAST 1-GALLON SIZE AT THE TIME OF PLANTING
6	[Symbol]	"SHRUB" - BARBERIS THUNBERGII - BARBERRY - AT LEAST 1-GALLON SIZE AT THE TIME OF PLANTING



**PROXIMITY MAP**



CAD: [ ] XREF: [ ] DRAWN: TO [ ] ENGR: [ ] CHECKED: [ ] CODE: [ ] VRSRET: 0 [ ] CREATED: 02/26/2020 [ ] PLOT SCALE: 1:1 [ ]

COMMENT

REV DATE

DRAWING TITLE

**LANDSCAPING PLAN**

SE JETTY AVENUE

LINCOLN CITY, OREGON

DEZ JOB NO. SE JETTY AVENUE

DRAWING REVISION

DRAWING NUMBER

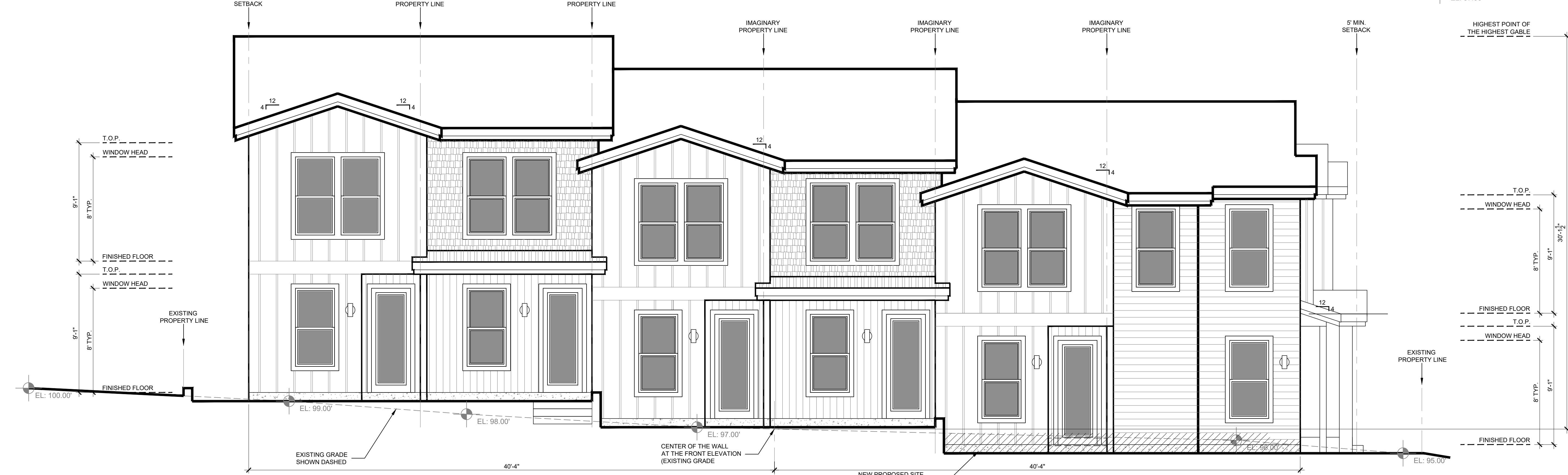
**A0.1**





**FRONT ELEVATION - SE 3RD AVE**

SCALE: 1/4" = 1'-0"



**LEFT ELEVATION - SE JETTY ST**

SCALE: 1/4" = 1'-0"

- COMPOSITION ROOFING MATERIAL
- G.I. GUTTER ON 2 X 8 FASCIA C/W DOWNSPOUTS (SEE ROOF PLAN)
- HORIZONTAL LAP SIDING HARD-PLANK FIBER CEMENT W/ MIN. 1/8" AIR GAP 6" REVEAL MAX. TYPICAL
- SHAKE SIDING
- BOARD & BATT 16" O.C. - OFFSET 3" EITHER SIDE OF THE RIDGE
- METAL ROOFING
- EXTERIOR WALL MOUNTED LIGHTS TO PROVIDE 1 FOOT CANDLE/SF W/ CUT OFF TO NEIGHBORING PROPERTY (14 TOTAL)
- 3 1/2" WOOD TRIM (TYPICAL)
- VERTICAL T&G CEDAR (TYPICAL AT PORCHES)

CAD:	XREF:	DRAWN: TO
ENGR:	ENGR:	CHECKED:
CODE:	CODE:	VSRET: 0
CREATED: 3/25/2020	PLTSCALE: 1:1	

REV	DATE	COMMENT

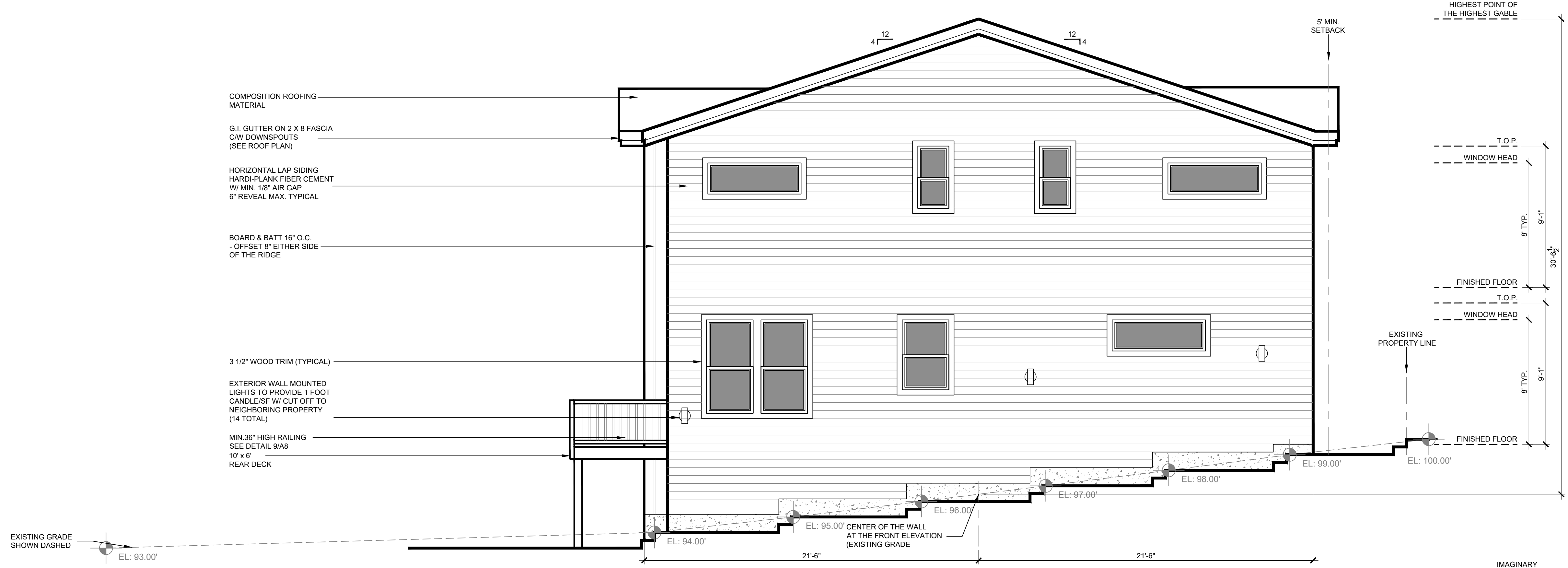
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

**ELEVATIONS**  
SE JETTY AVENUE  
LINCOLN CITY, OREGON

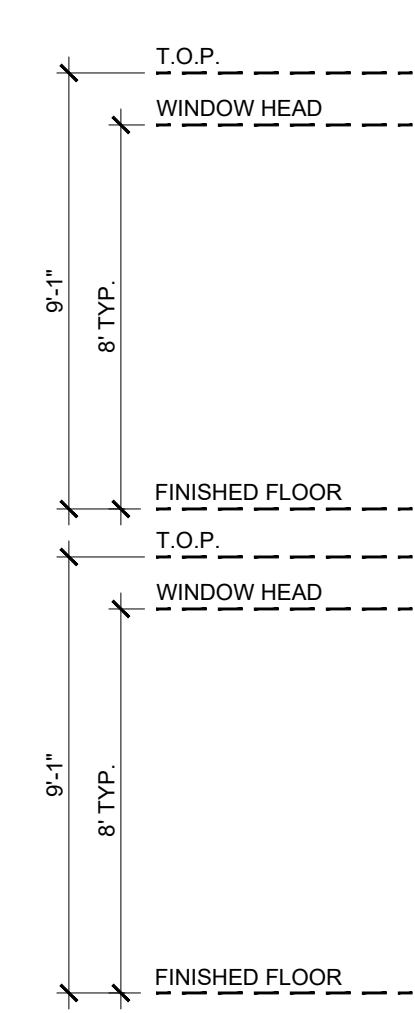
DEZ JOB NO. SE JETTY AVENUE
DRAWING REVISION -
DRAWING NUMBER <b>A1</b>

<b>BUILDING HEIGHT AVERAGE:</b>
FRONT ELEVATION HEIGHT: 33' 7-1/2"
LEFT ELEVATION HEIGHT: 30' 1-1/2"
LEFT ELEVATION HEIGHT: 30' 6-1/2"
LEFT ELEVATION HEIGHT: 33' 4"
<b>AVERAGE HEIGHT: 31' 10-7/8"</b>

- COMPOSITION ROOFING MATERIAL
- G.I. GUTTER ON 2 X 8 FASCIA C/W DOWNSPOUTS (SEE ROOF PLAN)
- HORIZONTAL LAP SIDING HARDI-PLANK FIBER CEMENT W/ MIN. 1/8" AIR GAP 6" REVEAL MAX. TYPICAL
- BOARD & BATT 16" O.C. - OFFSET 3" EITHER SIDE OF THE RIDGE
- 3 1/2" WOOD TRIM (TYPICAL)
- EXTERIOR WALL MOUNTED LIGHTS TO PROVIDE 1 FOOT CANDLE/SF W/ CUT OFF TO NEIGHBORING PROPERTY (14 TOTAL)
- MIN 36" HIGH RAILING SEE DETAIL 9/A8 10' x 6' REAR DECK



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

CAD:	XREF:	DRAWN:	TO
ENGR:	ENGR:	CHECKED:	CODE:
REV:	DATE:	COMMENT:	

REV:	DATE:	COMMENT:

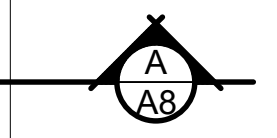
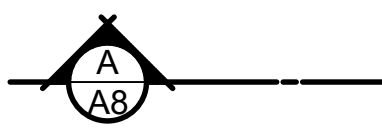
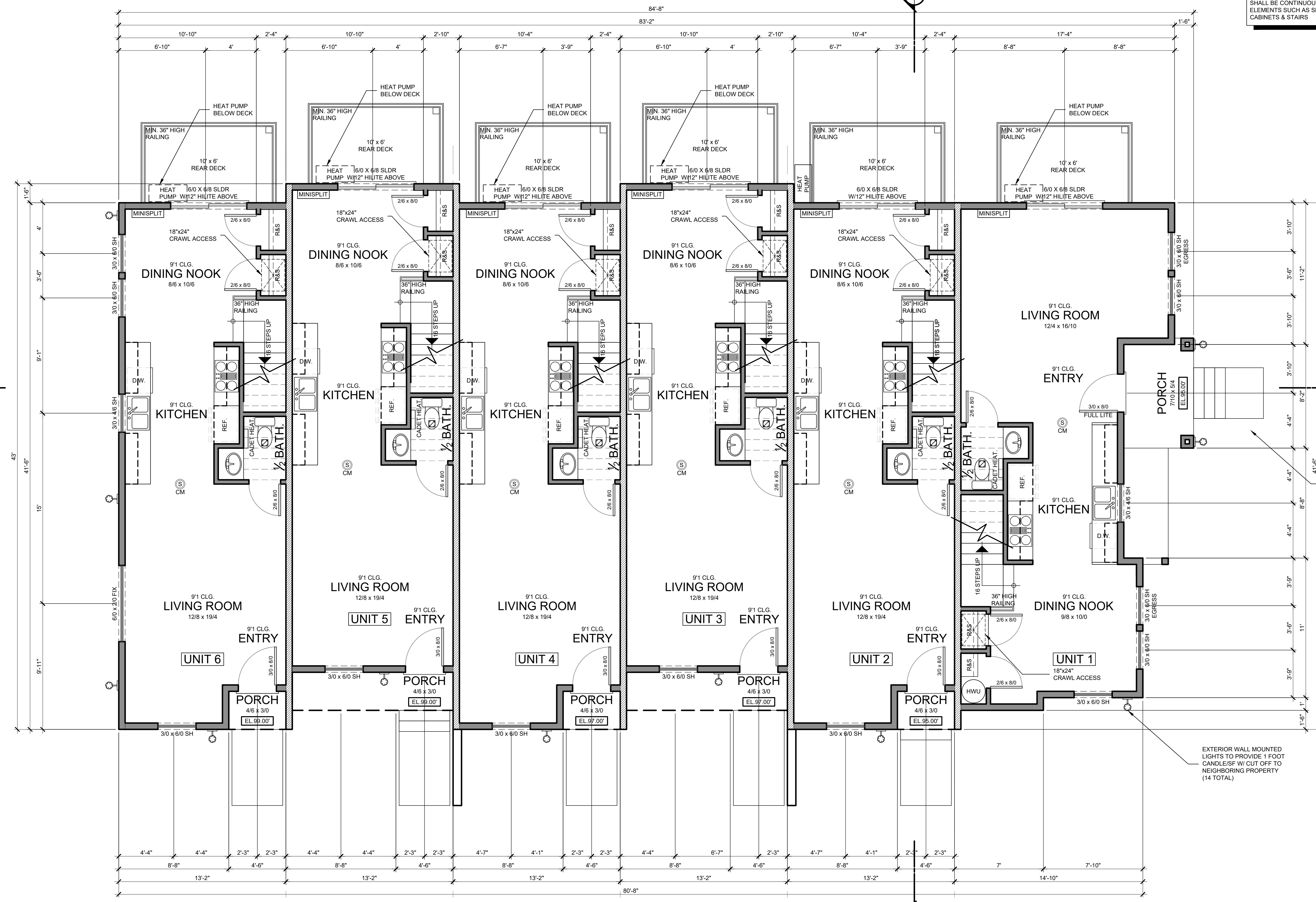
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.

**ELEVATIONS**  
SE JETTY AVENUE  
LINCOLN CITY, OREGON

DEZ JOB NO.	SE JETTY AVENUE
DRAWING REVISION	-
DRAWING NUMBER	<b>A1.1</b>

**EGRESS WINDOWS**  
 REQUIRED EGRESS WINDOWS TO EACH HAVE A CLEAR OPENING HEIGHT OF AT LEAST 24" AND CLEAR OPENING WIDTH OF AT LEAST 20" AND AN OVERALL CLEAR OPENING AREA OF AT LEAST 5.7 S.F.

**NOTE**  
 THE FIRE RATED GYPSUM WALLBOARD USED IN COMMON TOWNHOUSE SEPARATION WALLS SHALL BE CONTINUOUS BEHIND ALL BUILDING ELEMENTS SUCH AS SHOWERS, BATHTUBS, CABINETS & STAIRS



■ 2-HOUR FIRE RATED ASSEMBLY WALL (DETAILS ON SHT. A8)

**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"

LIVING AREA:	
UNIT 1:	
MAIN FLOOR	581 SF
UPPER FLOOR	560 SF
TOTAL	1,141 SF
UNIT 2-6:	
MAIN FLOOR	534 SF
UPPER FLOOR	511 SF
TOTAL	1,045 SF
TOTAL LIVING AREA A:	6,366 SF

CAD:	XREF:	DRAWN TO:
ENGR:	ENGR:	CHECKED:
CODE:	CODE:	VSRET: 0
CREATED: 3/25/2020	PLOT SCALE: 1:1	

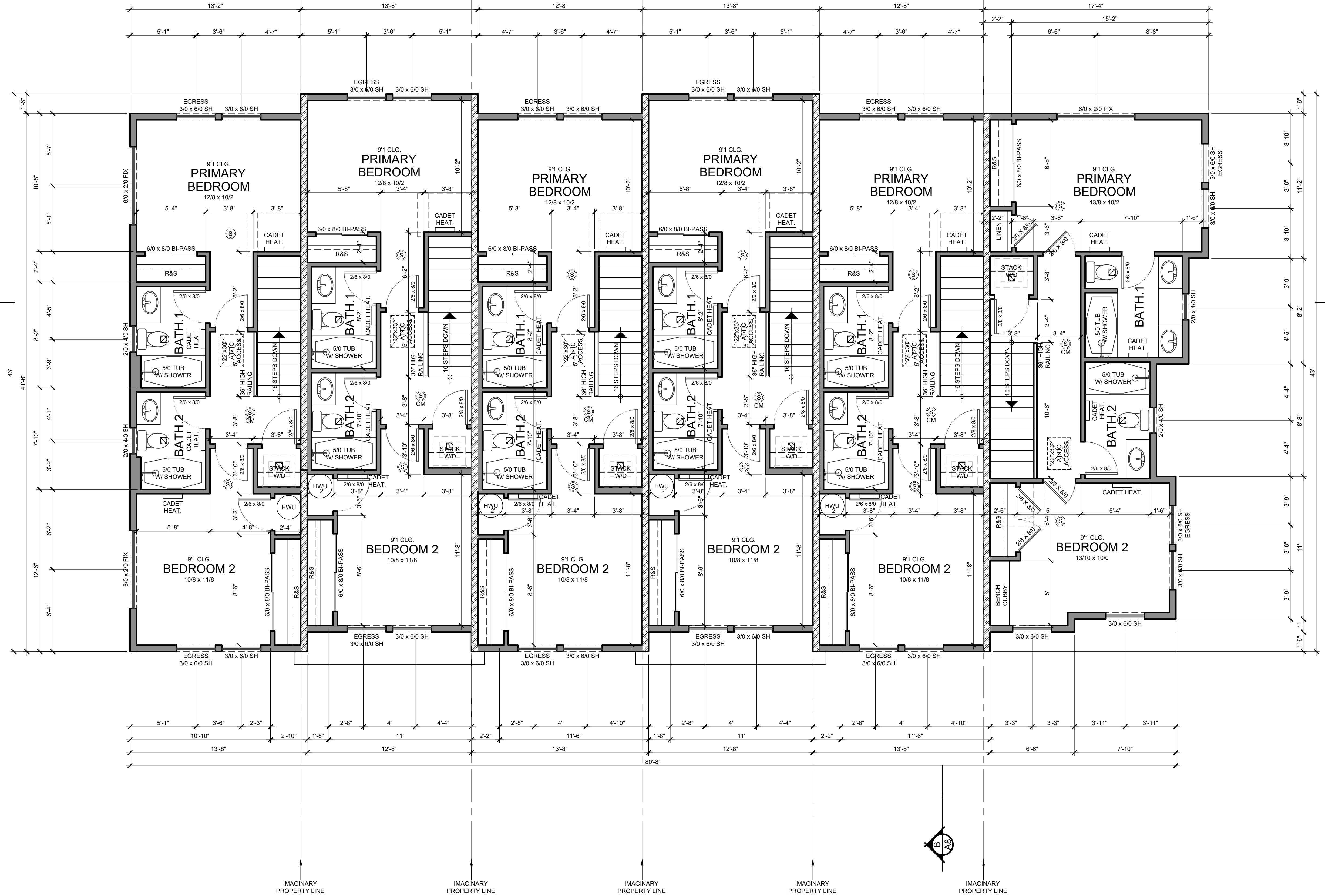
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, OR OTHER SPECIALTY SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, OR OTHER SPECIALTY SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE CONSTRUCTION OF THE PROJECT.

**FLOOR PLANS**  
 SE JETTY AVENUE  
 LINCOLN CITY, OREGON

DEZ JOB NO.	SE JETTY AVENUE
DRAWING REVISION	-
DRAWING NUMBER	<b>A2</b>

**EGRESS WINDOWS**  
 REQUIRED EGRESS WINDOWS TO EACH HAVE A CLEAR OPENING HEIGHT OF AT LEAST 24" AND CLEAR OPENING WIDTH OF AT LEAST 20" AND OVERALL CLEAR OPENING AREA OF AT LEAST 5.7 S.F.

**NOTE**  
 THE FIRE RATED GYPSUM WALLBOARD USED IN COMMON TOWNHOUSE SEPARATION WALLS SHALL BE CONTINUOUS BEHIND ALL BUILDING ELEMENTS SUCH AS SHOWERS, BATHTUBS, CABINETS & STAIRS



█ = 2-HOUR FIRE RATED ASSEMBLY WALL (DETAILS ON SHT. A8)

**UPPER FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

REV	DATE	COMMENT

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON.

**FLOOR PLANS**  
 SE JETTY AVENUE  
 LINCOLN CITY, OREGON

DRAWING TITLE  
 DEZ JOB NO.  
 SE JETTY AVENUE  
 DRAWING REVISION  
 DRAWING NUMBER  
**A3**

CAD: XREF: TO  
 DRAWN: ENGR:  
 CHECKED: CODE:  
 VSR: 0  
 CREATED: 3/25/2020  
 PLOT SCALE: 1:1

1) THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE BEING VENTILATED AT LEAST 3' ABOVE THE EAVE VENTS. THE REMAINING BALANCE OF THE REQUIRED VENTING WILL BE PROVIDED BY EAVE VENTS (R806.2).  
 2) ALTERNATIVE METHOD: VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

VENTS:  
 1) ROOF VENTS ARE BASED ON 49 SQ IN NET FREE VENTILATION AREA PER VENT.  
 2) EAVE VENTS ARE BASED ON 24 SQ IN NET FREE VENTILATION PER VENT.

**MAIN ROOF - PART A (UNIT 1&2)**

AREA	179,086	SQ IN
REQUIRED VENTING	597	SQ IN
ROOF VENTS UPPER	294	SQ IN (6)
ROOF VENTS UPPER	147	SQ IN (3)
EAVE VENTS	168	SQ IN (7)

**MAIN ROOF - PART B (UNIT 3&4)**

AREA	172,325	SQ IN
REQUIRED VENTING	588	SQ IN
ROOF VENTS UPPER	294	SQ IN (6)
ROOF VENTS UPPER	196	SQ IN (4)
EAVE VENTS	96	SQ IN (4)

**MAIN ROOF - PART C (UNIT 5&6)**

AREA	181,152	SQ IN
REQUIRED VENTING	604	SQ IN
ROOF VENTS UPPER	294	SQ IN (6)
ROOF VENTS UPPER	196	SQ IN (4)
EAVE VENTS	144	SQ IN (6)

**FRONT PORCH ROOF (UNIT 1)**  
 1/150 OF THE AREA OF THE SPACE VENTILATED:

AREA	11,796	SQ IN
REQUIRED VENTING	79	SQ IN
EAVE VENTS	96	SQ IN (4)

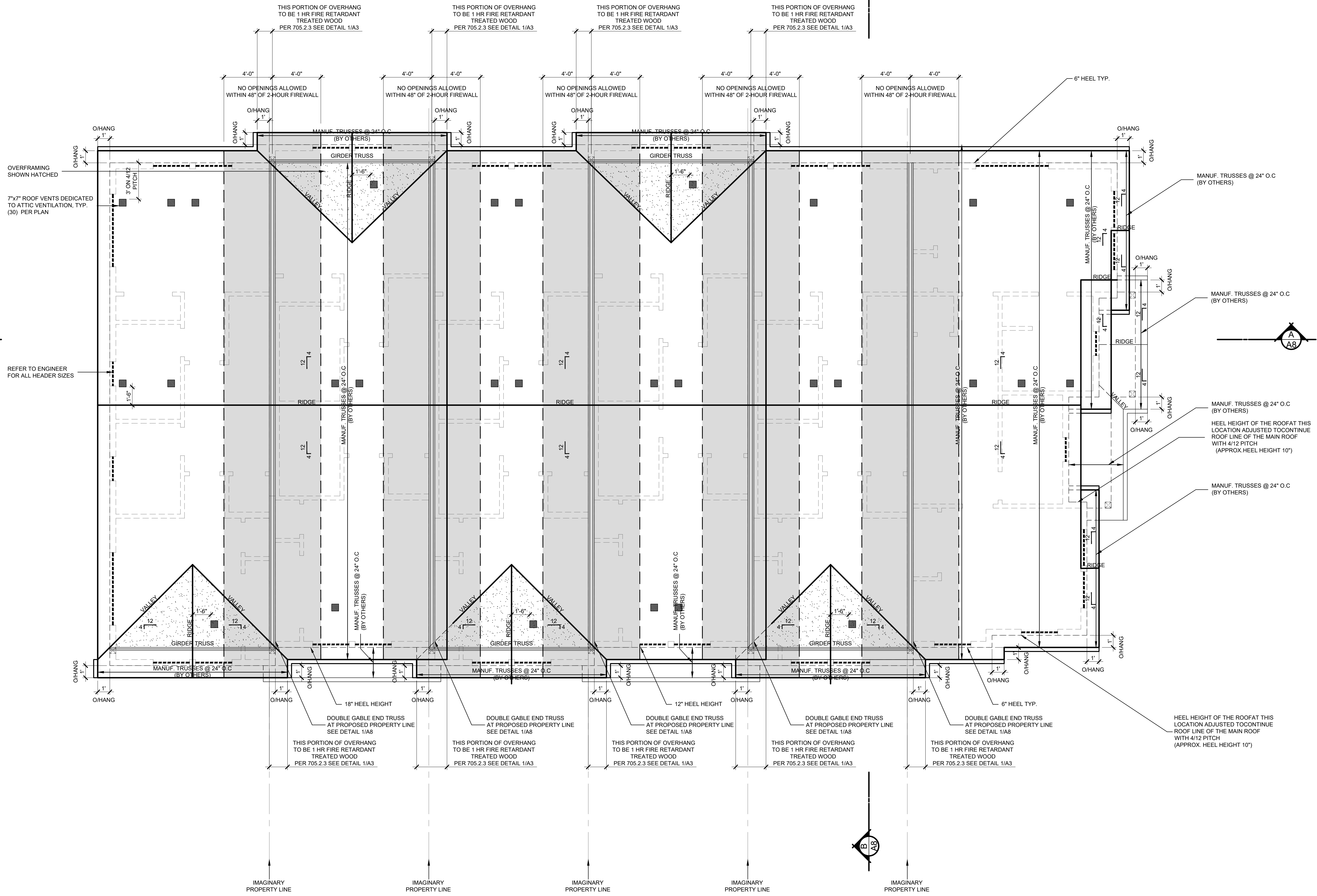
**FRONT PORCH ROOF (UNIT 3)**  
 1/150 OF THE AREA OF THE SPACE VENTILATED:

AREA	4,844	SQ IN
REQUIRED VENTING	33	SQ IN
EAVE VENTS	48	SQ IN (2)

**FRONT PORCH ROOF (UNIT 5)**  
 1/150 OF THE AREA OF THE SPACE VENTILATED:

AREA	4,844	SQ IN
REQUIRED VENTING	33	SQ IN
EAVE VENTS	48	SQ IN (2)

- PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CLG AREAS, AND INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS. RAFTER VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE THE PLATE.
- PROVIDE FIRE BLOCKING, DRAFT STOPS, & FIRE STOPS AS PER OREGON DWELLING SPECIALTY CODE SEC. R802.8
- HIPS, VALLEY'S AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTER.



REFER TO ENGINEER FOR ALL HEADER SIZES

**FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

CAD:	XREF:
DRAWN:	TO
ENGR:	
CHECKED:	
CODE:	
VSRET:	0
CREATED:	3/25/2020
PLOT SCALE:	1:1

REV	DATE	COMMENT

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS DRAWING. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS DRAWING. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

**ROOF PLAN**  
 SE JETTY AVENUE  
 LINCOLN CITY, OREGON

DEZ JOB NO.  
 SE JETTY AVENUE

DRAWING REVISION  
 -

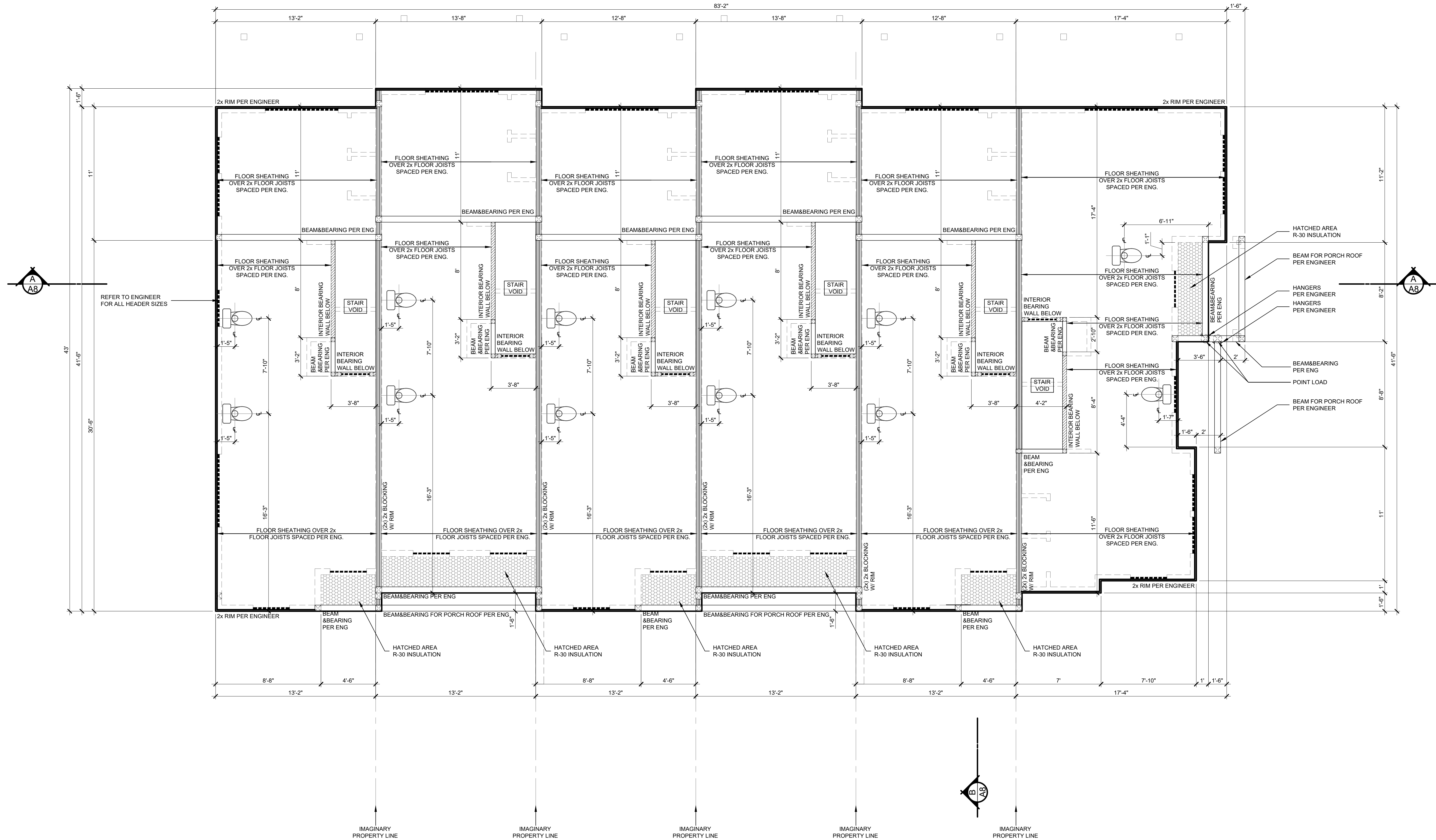
DRAWING NUMBER

**A4**



**NOTE!**  
 ALL BEAMS AND BEAM LOCATIONS ARE TO THE DISCRETION OF THE ENGINEER. REFER TO ENGINEERING 'S' PAGES FOR ALL STRUCTURAL INFORMATION. THIS DESIGNER ASSUMES NO RESPONSIBILITY AS PLANS ARE DIAGRAMMATIC ONLY

**NOTE!**  
 LOCATION OF THE PLUMBING FIXTURES AND PENETRATIONS NEED TO BE COORDINATED WITH FLOOR JOISTS PLACEMENT.  
 ANY PLUMBING PENETRATIONS THROUGH FRAMING STRUCTURES AND FLOORJOISTS NEED TO BE APPROVED BY PROJECT MANAGER OR ENGINEER



REFER TO ENGINEER FOR ALL HEADER SIZES

REV	DATE	COMMENT

CAD: XREF: TO  
 ENGR: DRAWN: TO  
 CHECKED: ENGR  
 CODE: ENGR  
 VRS: 0  
 CREATED: 3/25/2020  
 PLOT SCALE: 1:1

THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE PROJECT. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON AND DOES NOT INCLUDE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE THEREOF.

**FLOOR FRAMING PLAN**  
 SE JETTY AVENUE  
 LINCOLN CITY, OREGON

DRAWING TITLE	DEZ JOB NO.
	SE JETTY AVENUE
DRAWING REVISION	
DRAWING NUMBER	<b>A5</b>

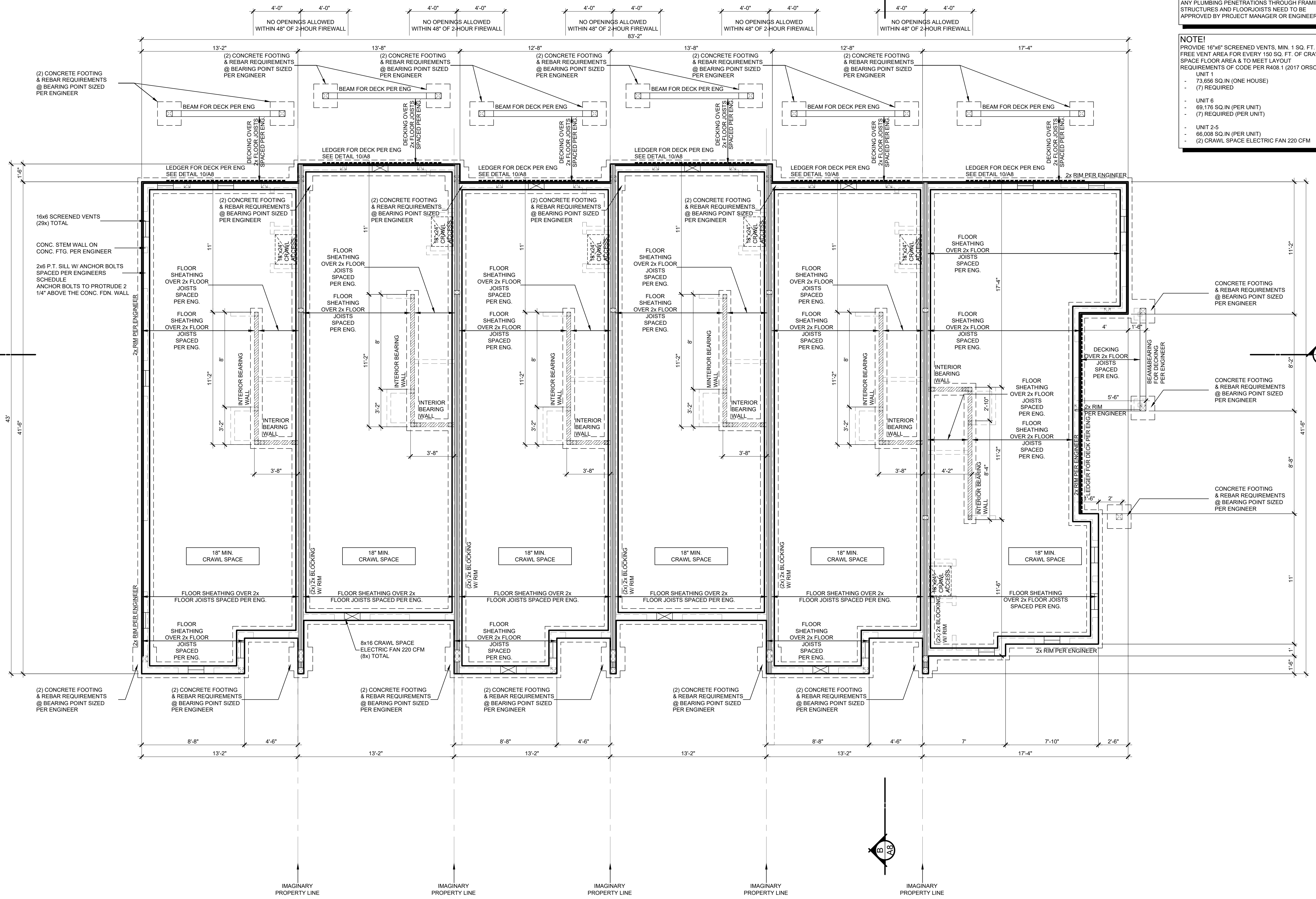
**FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

**NOTE!**  
ALL BEAMS AND BEAM LOCATIONS ARE TO THE DISCRETION OF THE ENGINEER. REFER TO ENGINEERING 'S' PAGES FOR ALL STRUCTURAL INFORMATION. THIS DESIGNER ASSUMES NO RESPONSIBILITY AS PLANS ARE DIAGRAMMATIC ONLY

**NOTE!**  
LOCATION OF THE PLUMBING FIXTURES AND PENETRATIONS NEED TO BE COORDINATED WITH FLOOR JOISTS PLACEMENT.  
ANY PLUMBING PENETRATIONS THROUGH FRAMING STRUCTURES AND FLOORJOISTS NEED TO BE APPROVED BY PROJECT MANAGER OR ENGINEER

**NOTE!**  
PROVIDE 16"x8" SCREENED VENTS, MIN. 1 SQ. FT. OF FREE VENT AREA FOR EVERY 150 SQ. FT. OF CRAWL SPACE FLOOR AREA & TO MEET LAYOUT REQUIREMENTS OF CODE PER R408.1 (2017 ORSC).  
UNIT 1  
- 73.656 SQ.IN (ONE HOUSE)  
- (7) REQUIRED  
UNIT 6  
- 69.176 SQ.IN (PER UNIT)  
- (7) REQUIRED (PER UNIT)  
UNIT 2-5  
- 66.008 SQ.IN (PER UNIT)  
- (2) CRAWL SPACE ELECTRIC FAN 220 CFM



REV	DATE	COMMENT

THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. ALL DIMENSIONS AND NOTES SHALL BE CONSIDERED TO BE PART OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTES BEFORE CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEYING INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHAEOLOGICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PALEONTOLOGICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ANTHROPOLOGICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LINGUISTIC INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOGRAPHIC INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOHISTORICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOARCHAEOLOGICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOLINGUISTIC INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOMUSICOLOGICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOBOTANICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOZOOLOGICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOLINGUISTIC INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOMUSICOLOGICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOBOTANICAL INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ETHNOZOOLOGICAL INFORMATION.

**FOUNDATION PLAN**  
SE JETTY AVENUE  
LINCOLN CITY, OREGON

DRAWING TITLE  
**FOUNDATION PLAN**  
SE JETTY AVENUE  
LINCOLN CITY, OREGON

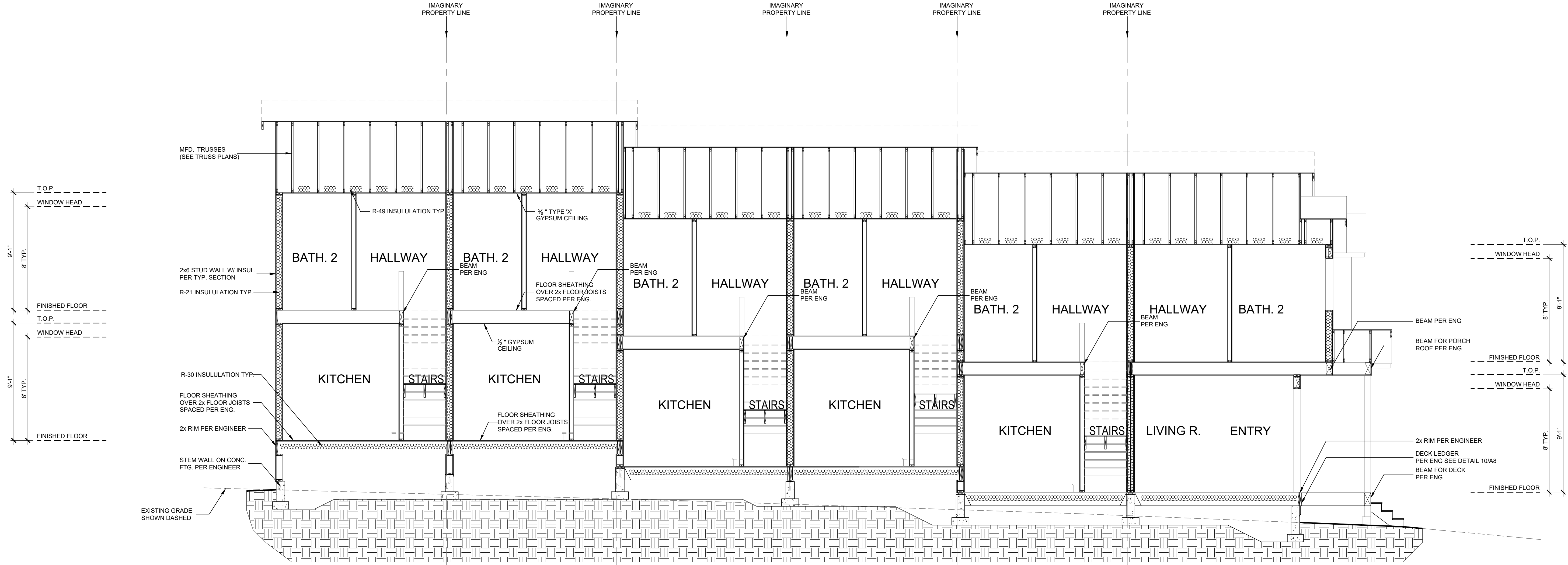
DEZ JOB NO.  
SE JETTY AVENUE

DRAWING REVISION  
-

DRAWING NUMBER  
**A6**

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"





**CROSS SECTION A**  
SCALE: 1/4" = 1'-0"

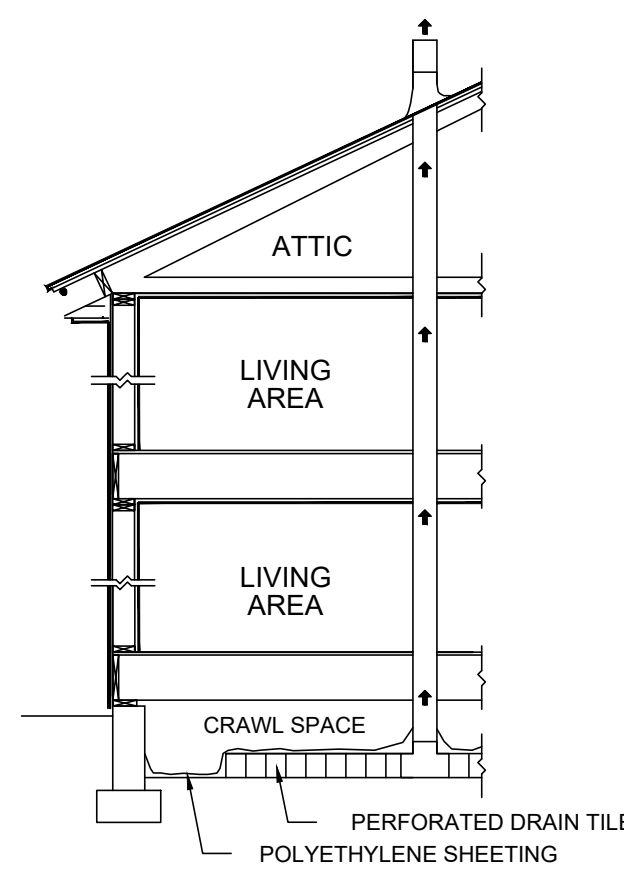
**RADON MITIGATION NOTES**

**SEALING NOTES:**

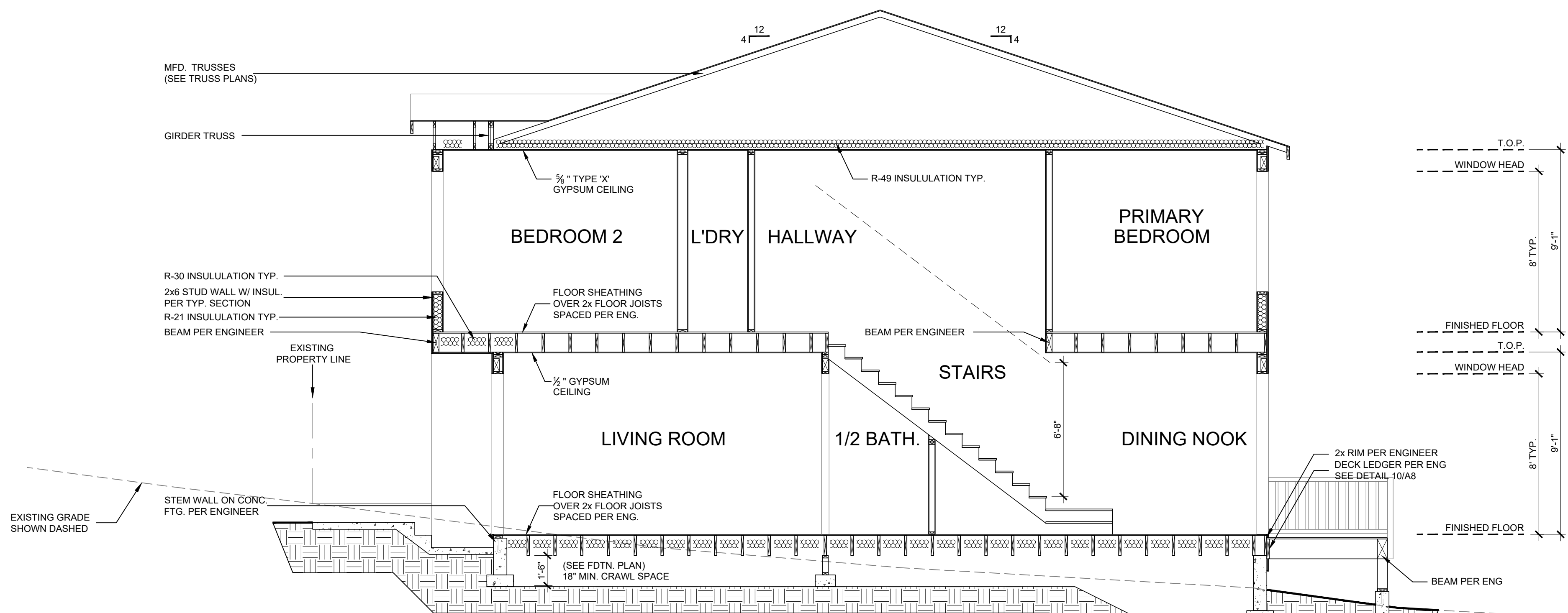
1. FOR CONCRETE SLABS OR OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND, SUBFLOOR PREPARATION REQUIRES INSTALLATION OF A LAYER OF GAS-PERMEABLE MATERIAL (CAN BE CRUSHED ROCK, SAND, OR OTHER MATERIALS IDENTIFIED IN APPENDIX F OF THE ORSC).
2. UNDER FLOOR AREA SHALL BE COVERED WITH A 6 MIL POLYETHYLENE OVER THE GAS-PERMEABLE LAYER OF MATERIAL, LAPPED 12" AND FITTED TIGHT AROUND PENETRATING ITEMS.
3. FLOOR OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES OR OTHER OBJECTS PROVIDING ENTRY POINTS OR OPENINGS FOR ALL PENETRATIONS SHALL BE SEALED.
4. CONDENSATE DRAINS THAT PASS THROUGH THE FLOOR SYSTEM SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
5. DUCTWORK PASSING THROUGH OR BENEATH SLABS SHALL BE SEALED PER M1601.4.
6. DUCTWORK IN EITHER THE SLAB OR CRAWLSPACE SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO ODGE DUCT PERFORMANCE STANDARDS.
7. A SEALED OR GASKETED LID MUST BE PROVIDED ON ANY SUMP PIT THAT SERVES AS THE END POINT FOR A SUB-SLAB OR EXTERIOR DRAIN TILE LOOP SYSTEM.

**FOR SUB-MEMBRANE & SUB-SLAB DEPRESSURIZATION SYSTEMS HERE ARE SOME REQUIREMENT FOR THE VENTILATION PIPE:**

1. PLUMBING TEE OR OTHER APPROVED CONNECTION INSERTED HORIZONTALLY BENEATH THE SHEETING AND CONNECTED TO A 3 OR 4-INCH DIAMETER FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING.
2. VENT PIPE TO EXTEND THROUGH THE BUILDING FLOORS AND TERMINATE AT LEAST 12 INCHES ABOVE THE ROOF IN A LOCATION AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.
3. RADON PIPE VENTS MUST BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OTHER AREA OUTSIDE THE HABITABLE SPACE OR SEE EXCEPTION IN APPENDIX F.
4. ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ "RADON REDUCTION SYSTEM".
5. FOR FUTURE INSTALLATION OF AN "ACTIVE" SUB-MEMBRANE OR SUB-SLAB DEPRESSURIZATION SYSTEM, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC OR OTHER ANTICIPATED LOCATION OF VENT PIPE FANS.



**RADON MITIGATION**  
SCALE: NTS



**CROSS SECTION B**  
SCALE: 1/4" = 1'-0"

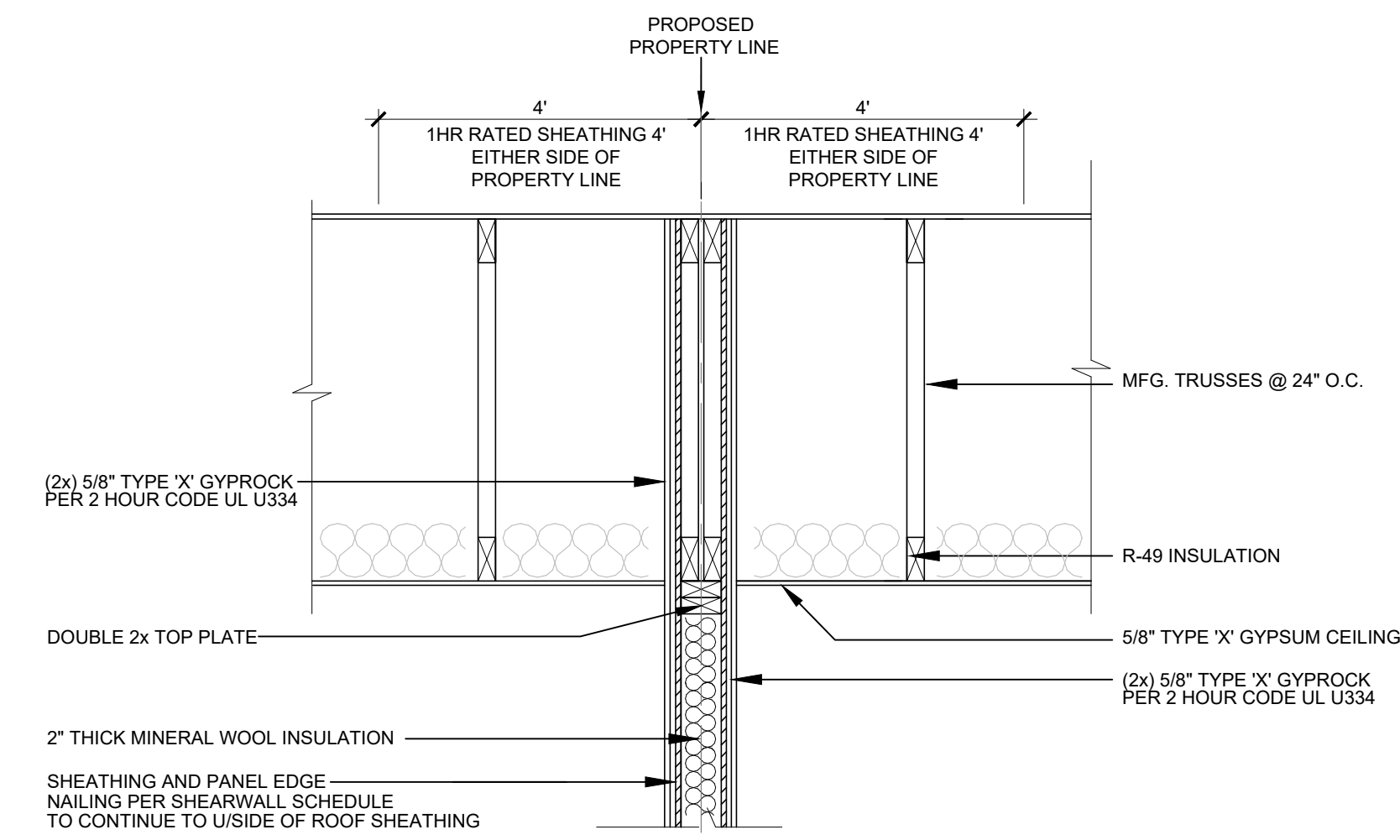
REV	DATE	COMMENT

CAD: XREF: TO  
DRAWN: ENGR:  
CHECKED: CODE:  
VERSET: 0  
CREATED: 9/25/2020  
PLOT SCALE: 1:1

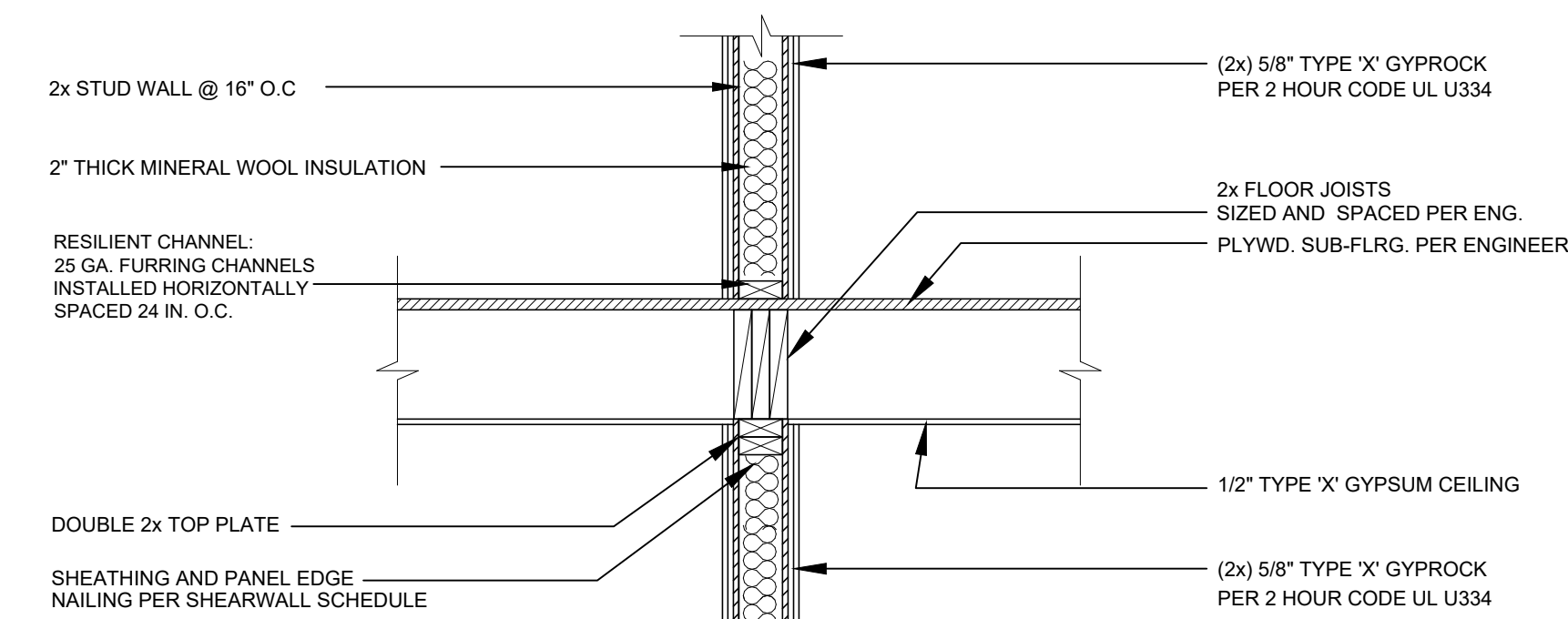
DRAWING TITLE  
**SECTIONS**  
SE JETTY AVENUE  
LINCOLN CITY, OREGON

DEZ JOB NO.  
SE JETTY AVENUE  
DRAWING REVISION  
DRAWING NUMBER  
**A7**

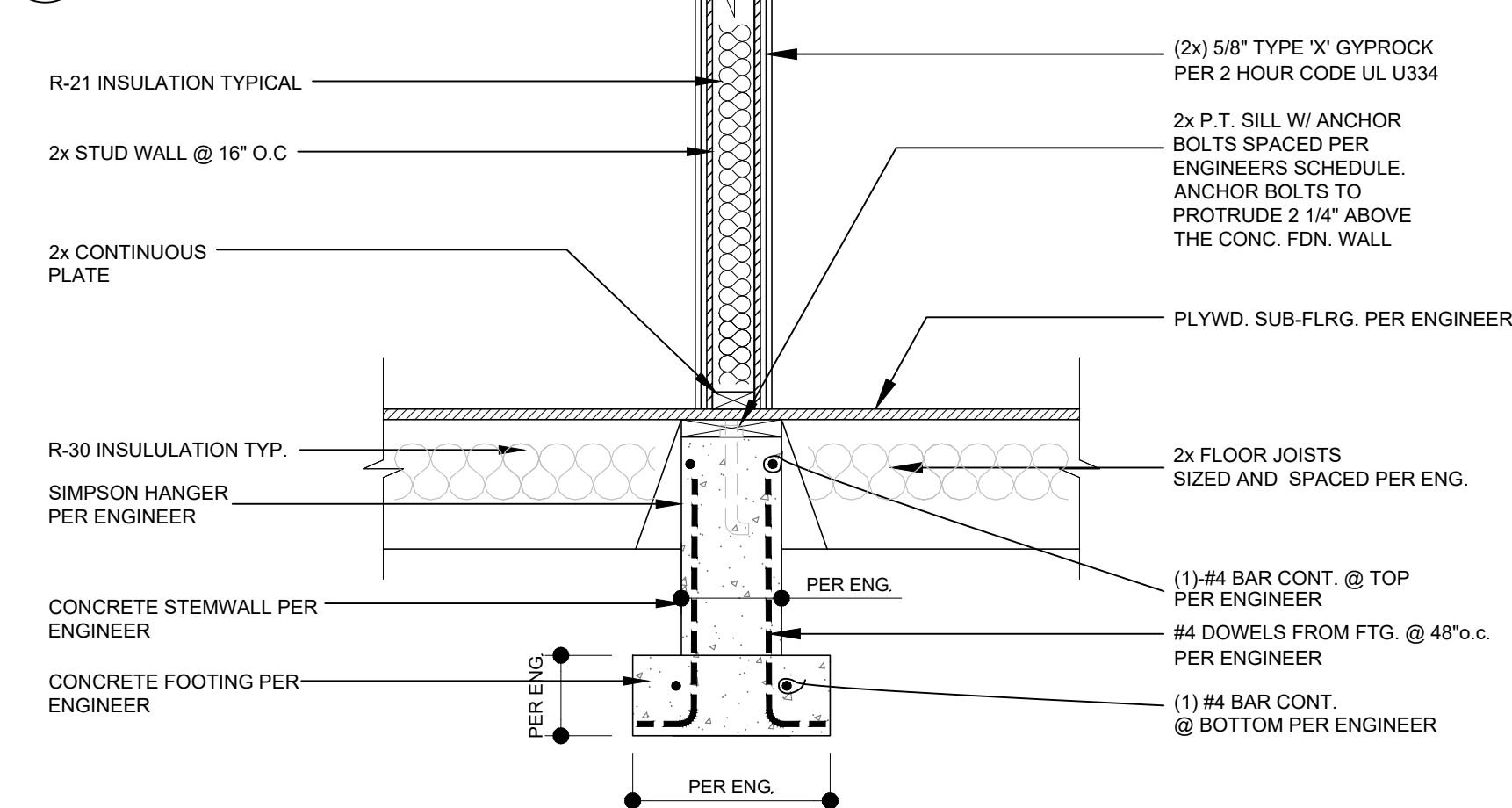




1 2-HR FIRE PARTITION @ ROOF  
nts



2 2-HR FIRE PARTITION @ FLOOR  
nts



3 2-HR FIRE PARTITION @ FOUNDATION  
nts

**INTERIOR PARTITIONS - WOOD STUD (LOAD BEARING)**

U334	2-HOUR	320600
LOAD BEARING	WOOD STUDS, RC-1 CHANNEL	STC = 58
		USG-810219

**ASSEMBLY OPTIONS:**

**GYPSUM BOARD:** APPLY TO BOTH SIDES. TWO LAYERS OF 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY. 5/8 IN. THICK, 4 FT WIDE, ATTACHED TO FURRING CHANNELS (1 SIDE). BASE LAYER WITH 1 IN. LONG TYPE S STEEL SCREWS SPACED MAX 24 IN. OC. FACE LAYER WITH 1-5/8 IN. LONG TYPE S STEEL SCREWS SPACED MAX 12 IN. OC. ATTACHED TO WOOD STUDS. BASE LAYER WITH 1-7/8 IN. LONG 8D COATED NAILS SPACED MAX 14 IN. OC. FACE LAYER WITH 2-3/8 IN. LONG 8D COATED NAILS SPACED MAX 7 IN. OC. BASE LAYERS INSTALLED VERTICALLY. FACE LAYERS INSTALLED HORIZONTALLY WITH BUTT JOINTS OFFSET 16 IN. FROM BASE LAYERS.

**RESILIENT CHANNEL:** 25 GA. FURRING CHANNELS INSTALLED HORIZONTALLY SPACED 24 IN. O.C.

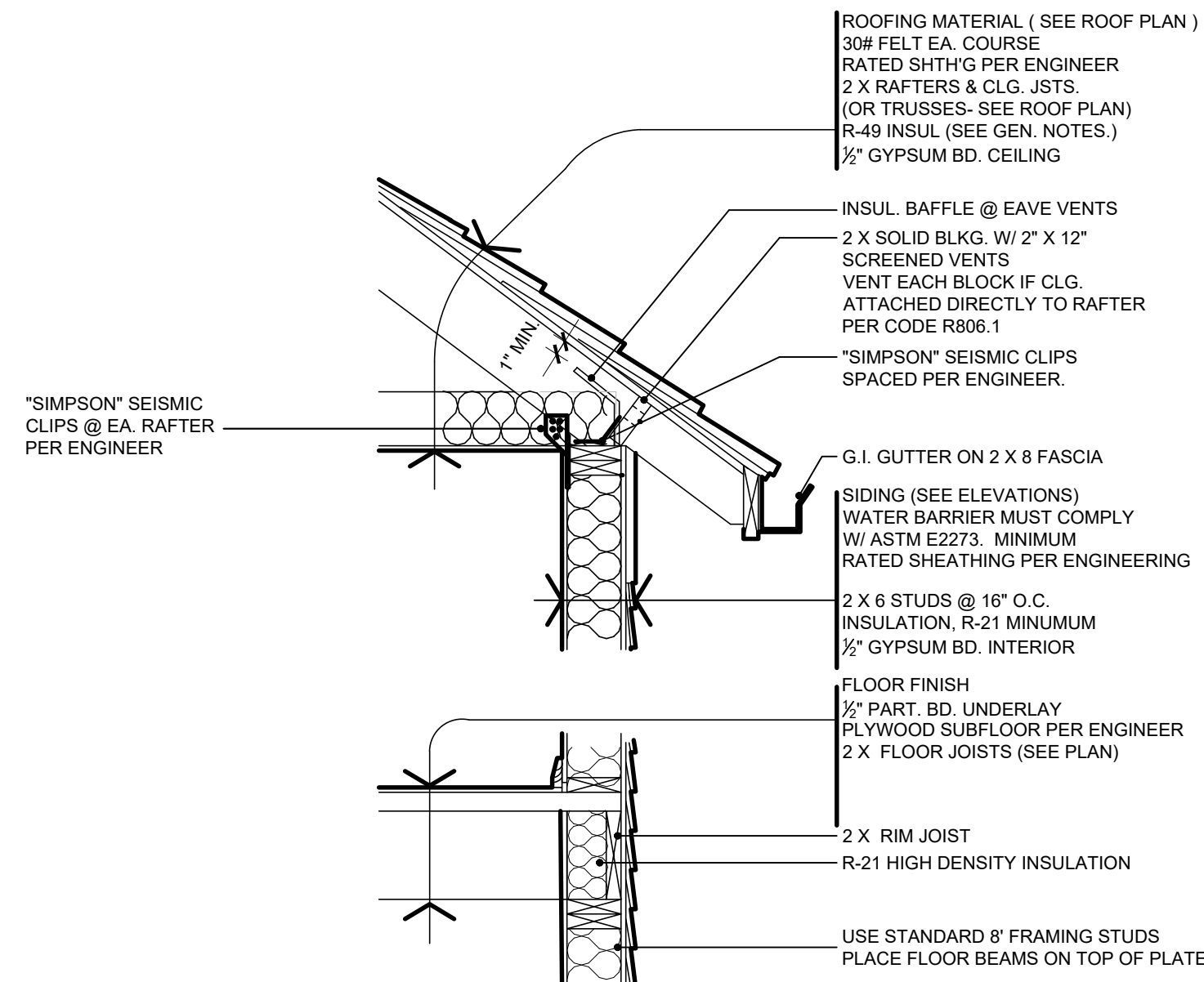
**WOOD STUDS:** 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C.

**BATTS & BLANKETS:** 2 IN. THICK MINERAL WOOL INSULATION

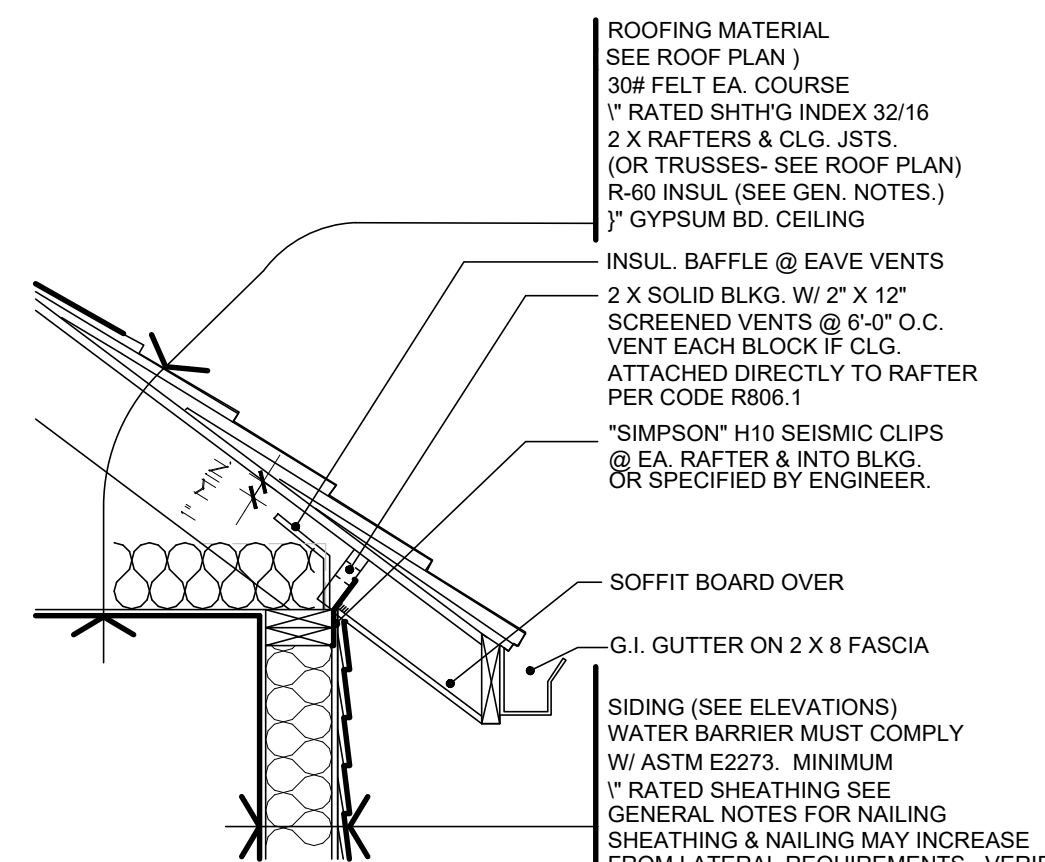
**INTERIOR PARTITIONS: WOOD STUD (LOAD-BEARING)**

FIRE RATINGS: 2 HOUR  
STC: 58  
SOUND TEST: USG-810219  
SYSTEM THICKNESS: 6-1/2"

4 2-HR RATED INTERIOR PARTITION WALL  
nts



5 TYP. WALL SECTION  
SCALE: 3/4" = 1'-0"



6 TYP. WALL SECTION  
SCALE: 3/4" = 1'-0"

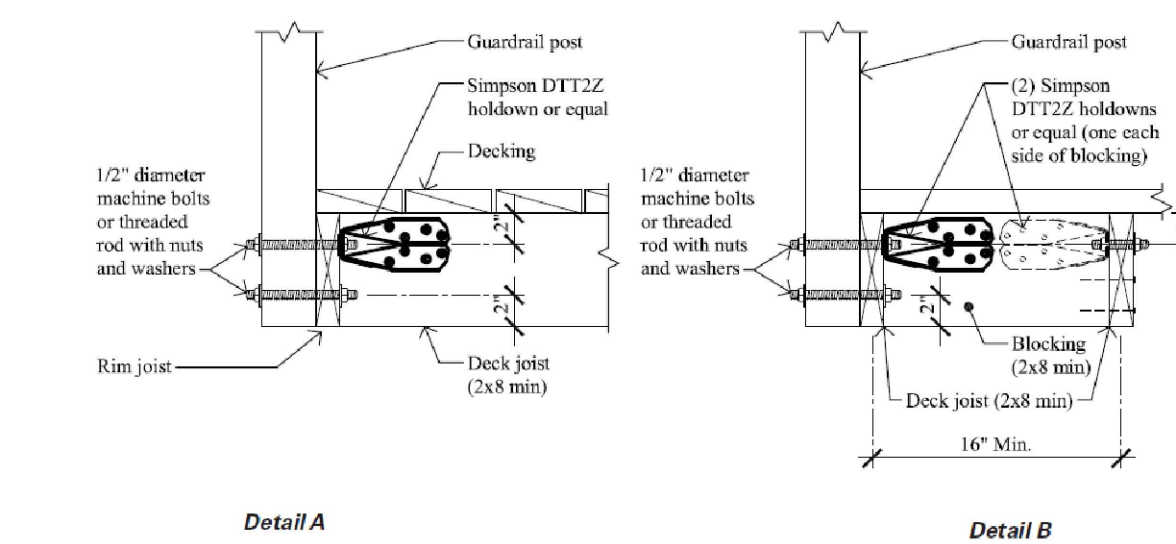
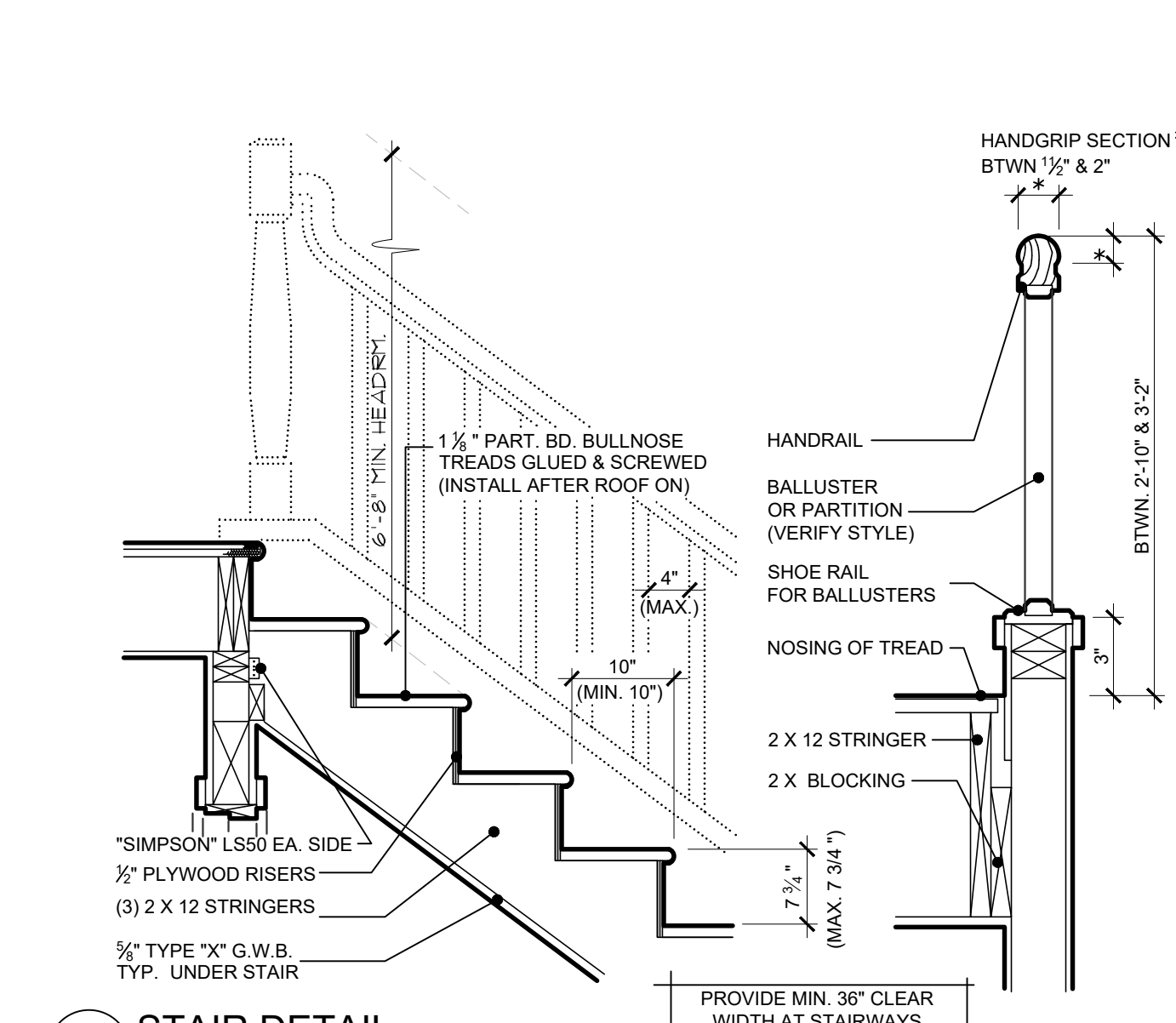
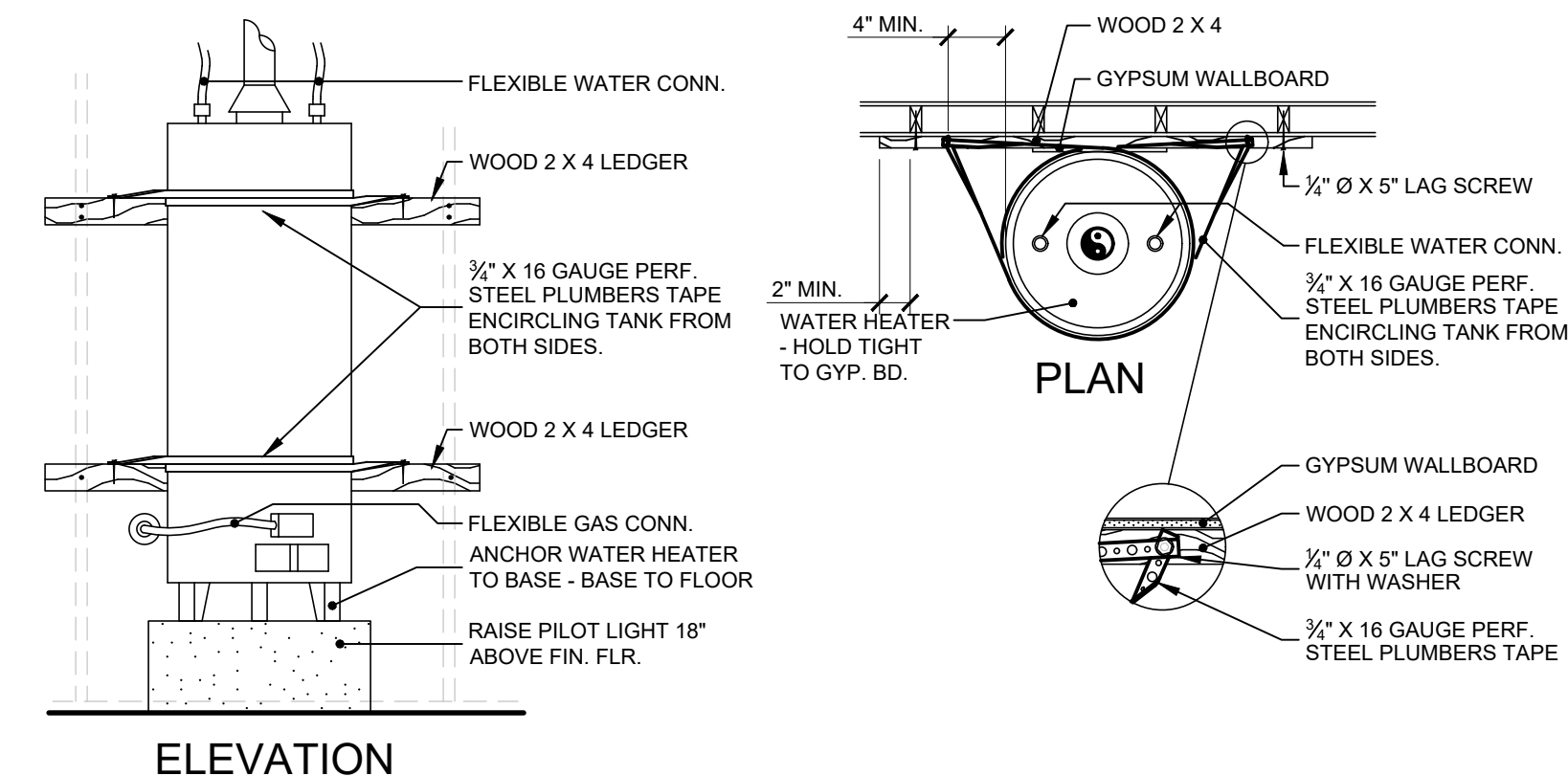


Fig. 31: Guardrail attachment OPTION 3 perpendicular to guardrail  
Fig. 32: Guardrail attachment OPTION 3 parallel to guardrail

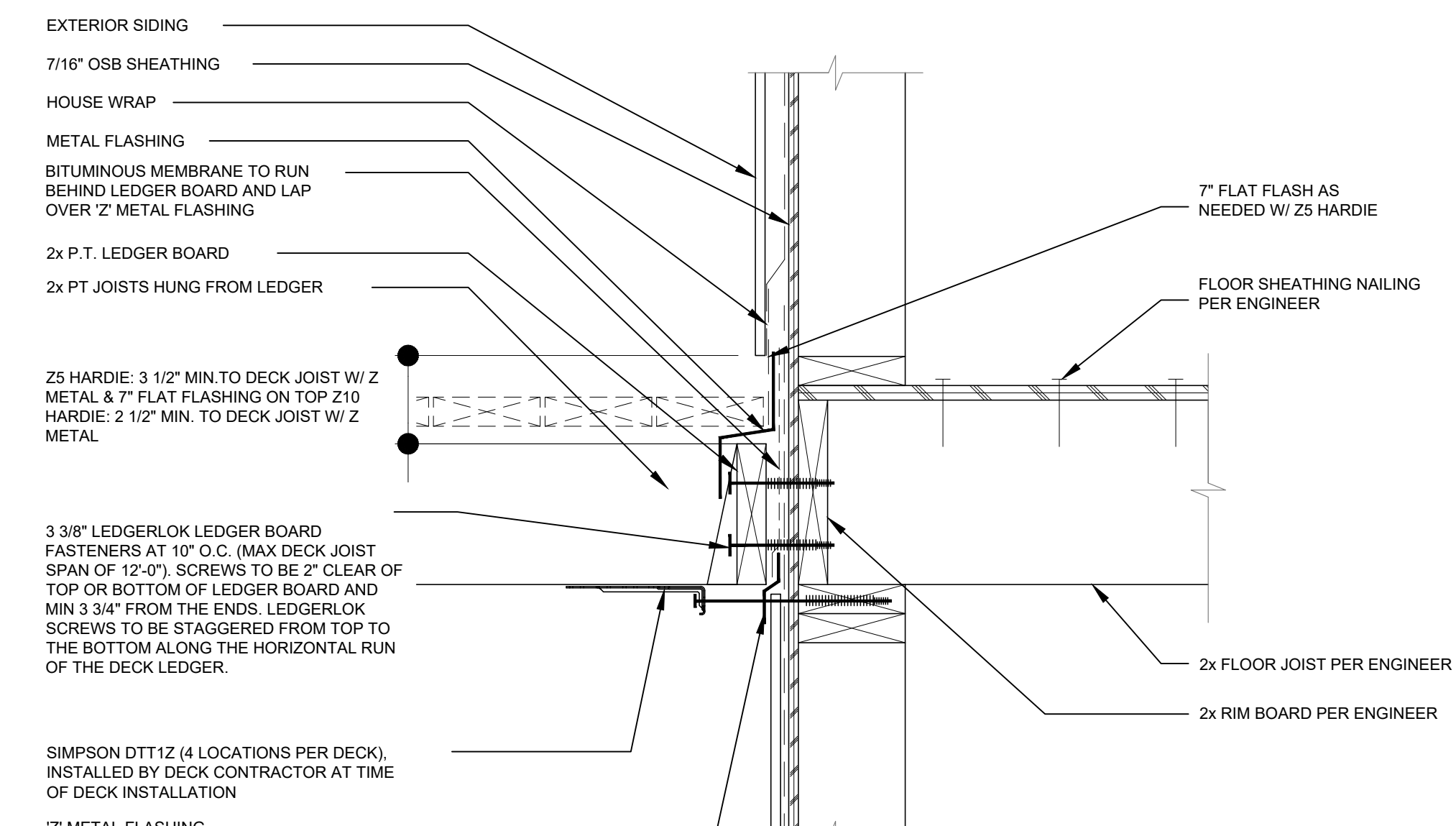
7 GUARDRAIL ATTACHMENT  
SCALE: NTS



8 STAIR DETAIL  
SCALE: 3/4" = 1'-0"



9 W.H. SUPPORT  
SCALE: 1/2" = 1'-0"



10 DECK LEDGER DETAIL  
SCALE: 1" = 1'-0"

CAD:	XREF:	DRAWN: TO	ENGR:	CHECKED:	CODE:	VERSET:	0	CREATED:	9/25/2020	PLOT SCALE:	1:1
REV	DATE	COMMENT									
<p>THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER IS STRICTLY PROHIBITED. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB.</p>											
<p><b>DRAWING TITLE</b>  <b>DETAILS</b>          SE JETTY AVENUE          LINCOLN CITY, OREGON</p>											
<p>DEZ JOB NO. SE JETTY AVENUE</p>											
<p>DRAWING REVISION -</p>											
<p>DRAWING NUMBER <b>A8</b></p>											